

About Us

DZ+ Inc was founded in 2008. it is led by Principal Architect Daniel Zain and offers a full range of services spanning from commercial to residential and private projects. Although most of our work has been in Malaysia, we have recently expanded our office to Beijing due to the increasing amount of work overseas.

As a recognised design firm, DZ+ Inc comprises of a dedicated team and is committed to being involved in every stage of each project, and as such will oversee every detail from start to completion. Teamwork is of the utmost importance.

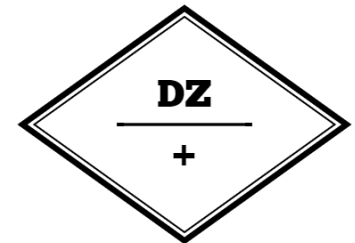
We constantly strive for innovation. Each project is tailored to respond to the specific needs of each project or client, in relation to the site and context.

Vision

To leave a lasting legacy as a practice known for its creativity, professionalism, and dedication.

Mission

To enhance the quality of the built environment for the betterment of our community.



Mr. Sean Wee Yen Xhiong



PROJECT
MANAGER



BACKGROUND

- 10 years of working experience in architectural firms in places such as China as well as England.
- Participated in various architectural projects and events held locally as well as internationally.
- Current project manager at DZ+.

EDUCATION

- **University of Manchester, United Kingdom**
BA (Hons) in Architecture
- **Deakin University, Australia**
Master of Science in Public Policy & Management

PROFESSIONAL EXPERIENCE

- **Zaha Hadid Architects (2003 - 2007)**
Assistant Architect
- **MAD Studio (2007 - 2013)**
Assistant Architect
- **DZ+ Architects (2013 - Present)**
Project Manager

Ar. Daniel Zain Mazalan



ARCHITECT



BACKGROUND

- Been in practice for 9 years in various locations, including New York City, London and currently Kuala Lumpur.
- Possesses an influential leadership role and strongly believes in healthy relations among work force to achieve success.
- Current principle architect of DZ+.

EDUCATION

- **University of Cambridge**

Undergraduate Course (1996 - 1999)

MPhil Degree in Architecture and Urban Design (2000 - 2002)

Postgraduate Certificate in Professional Practice in Architecture (2005 - 2006)

PROFESSIONAL EXPERIENCE

- **Perkins + Will (2002 - 2004)**

Intern

- **Fender Katsalidis Architects (2006 - 2012)**

Assistant architect

- **DZ+ Architects (2013 - Present)**

Principal architect

Mr. Ho Tze Hooi



GENERAL
CONTRACTOR

BACKGROUND

- Has working experience for more than 10 years with industry leaders such as UEM and UOA.
- Monitors site, workers, ensuring safety of workers, and making sure that construction is on schedule.

EDUCATION

- Birmingham City University(1994-1998)
BSc. (Hons) Construction Management (1994-1998)
Msc Constrction Project Management (2001-2003)

PROFESSIONAL EXPERIENCE

- UEM Group (1998-2011)
General contractor
- UOA Group (2012-2014)
Senior supervisor
- DZ+ (2015-present)
Construction manager, Contractor



Ir. Tang Kar Jun



C&S
ENGINEER



BACKGROUND

- Trained as a structural engineer and architect in Japan and Malaysia.
- Execution of machines, observing construction systems and conducive environments for efficiency and safety.

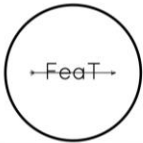
EDUCATION

- Taylor's College, Malaysia (1995-1999)
BSc. (Hons) Architecture
- Kyushu University (2001-2006)
Ph.D in International Master's / Doctoral Course in Sustainable Architecture and Urban Systems

PROFESSIONAL EXPERIENCE

- Hazama Ando Corporation (2007-2012)
Engineer in Civil & Structural Engineering
- JunE. (2013-present)
Founder and CEO

Ir. Felicia Tiong Ying Min



M&E
ENGINEER

BACKGROUND

- Experienced in the field of mechanical and electrical engineering.
- Over 8 years working experience.
- Enthusiastic and open to working with new people.

EDUCATION

- **Taylors University College (1999-2002)**
Bsc (Hons) Electrical Engineering
- **University of Sheffield (2004-2007)**
Bsc (Hons) Mechanical Engineering

PROFESSIONAL EXPERIENCE

- **Hadid Engineering Sdn Bhd (2008-2011)**
Engineer in the machinery and electrical department
- **FeaT (2012-PRESENT)**
Founder and CEO



L.Ar. Esther Lim Qiu Qiu



LANDSCAPE
ARCHITECT

BACKGROUND

- 5 years of working experience in Singapore and Malaysia.
- Actively involved in the energy efficiency movement.
- Currently researching on edible landscaping.

EDUCATION

- **RMIT University**
Bachelor of Landscape Architectural Design (2007 - 2009)
Master of Landscape Architecture (2010 - 2011)
- Member of **Institute of Landscape Architects Malaysia (ILAM)**

PROFESSIONAL EXPERIENCE

- **SCDA Architects (2012-2013)**
Landscape Designer
- **QQ Landscape (2014-present)**
Founder and CEO



Sr. Pua Kai Jing



QUANTITY
SURVEYOR

BACKGROUND

- Previously worked in Melbourne, and currently in Kuala Lumpur. Passionate in ensuring good relations within the team as he believes it will lead to more successful future.
- Current principal quantity surveyor of the AP surveyors consultancy.

EDUCATION

- **Monash University**
Bsc in Quantity Surveying (2006-2009)

PROFESSIONAL EXPERIENCE

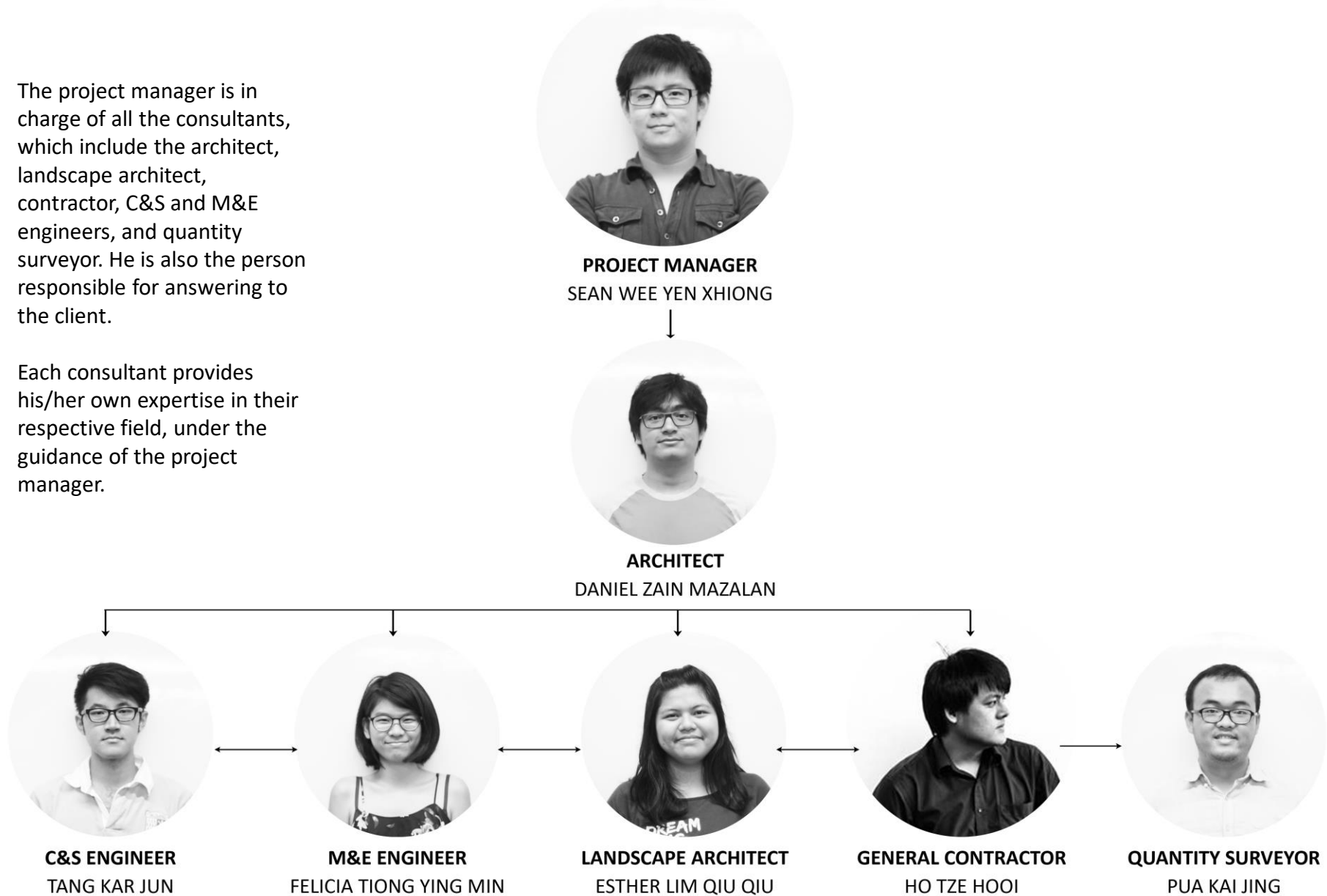
- **Citywide Talent (2010 - 2012)**
Quantity surveyor
- **AP Surveyors Consultancy (2012 - present)**
Founder and CEO

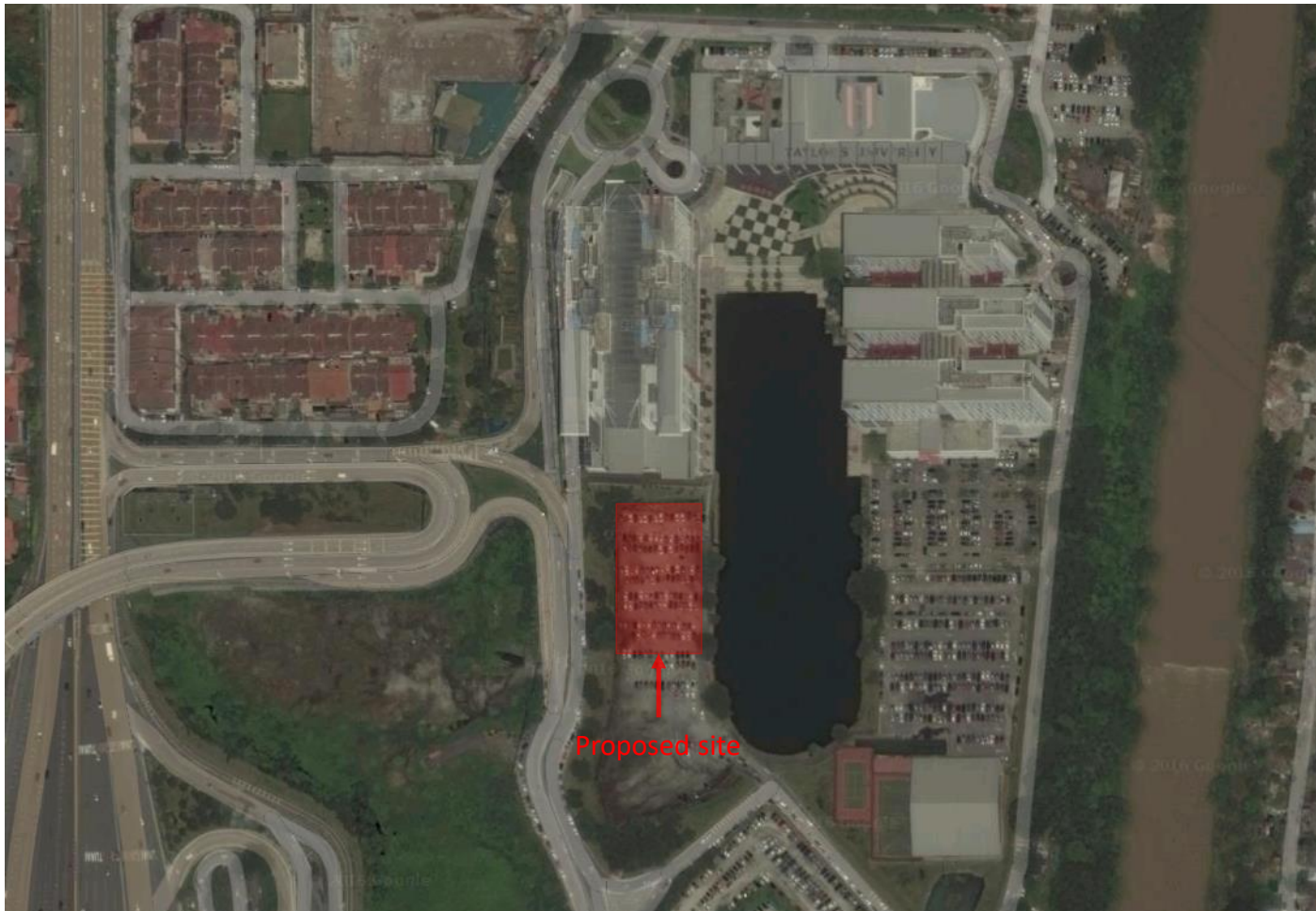


1.0 INTRODUCTION - ORGANISATIONAL CHART

The project manager is in charge of all the consultants, which include the architect, landscape architect, contractor, C&S and M&E engineers, and quantity surveyor. He is also the person responsible for answering to the client.

Each consultant provides his/her own expertise in their respective field, under the guidance of the project manager.





Taylor's University Sdn Bhd management approached us to construct a **covered carpark zone** at one of the carpark space in the university compound. We had been requested to propose a project management plan and execution to ensure that this project was completed before the next new semester commenced, in **March 2017**.

Due to the busy traffic conditions and other activities occurring during the semester, the management has also requested our group to consider the surrounding, traffic and environmental impact that may affect the project, short-term and long-term. Other necessary ancillaries would also be needed to be included to make sure that the carpark operators can operate without much hassle.

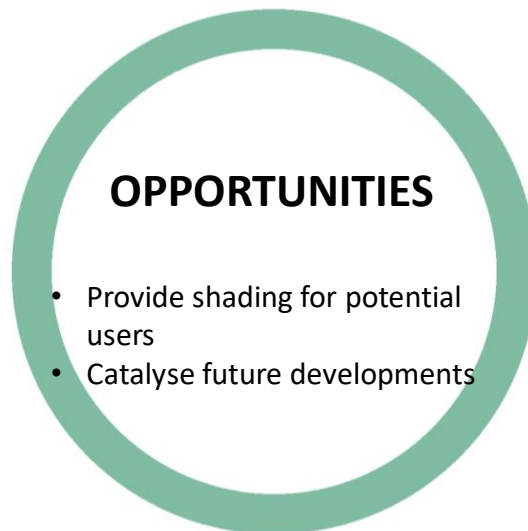
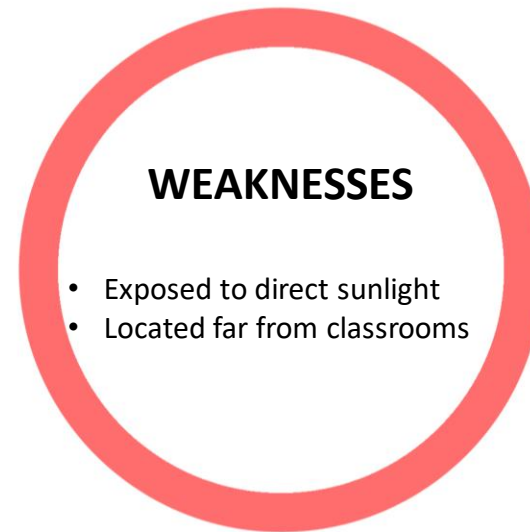
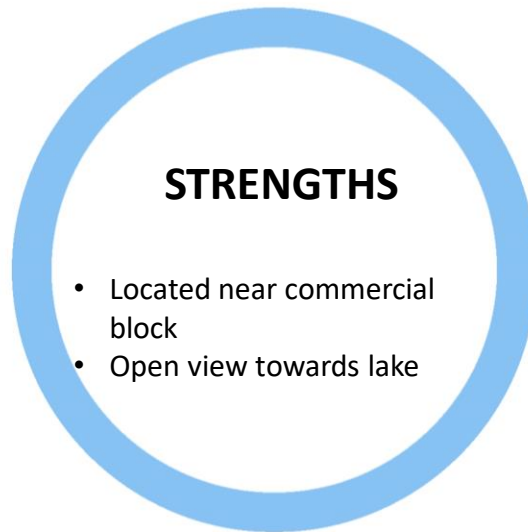


View to site from classroom blocks



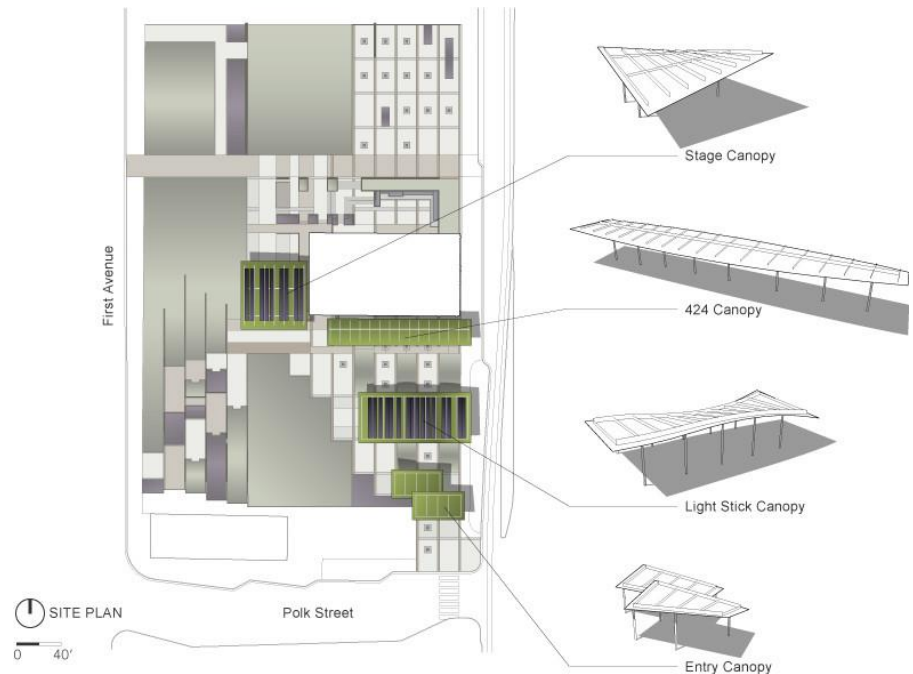
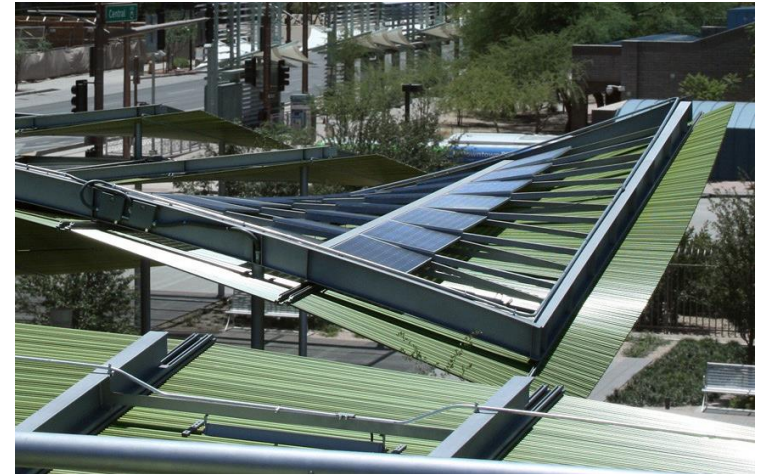
View of site from existing carpark entrance

The proposed site is located directly south of Taylor's University lakeside campus' commercial block. It is currently a free, uncovered carpark zone for students and staff, roughly 40 metres in width and 70 metres in length.

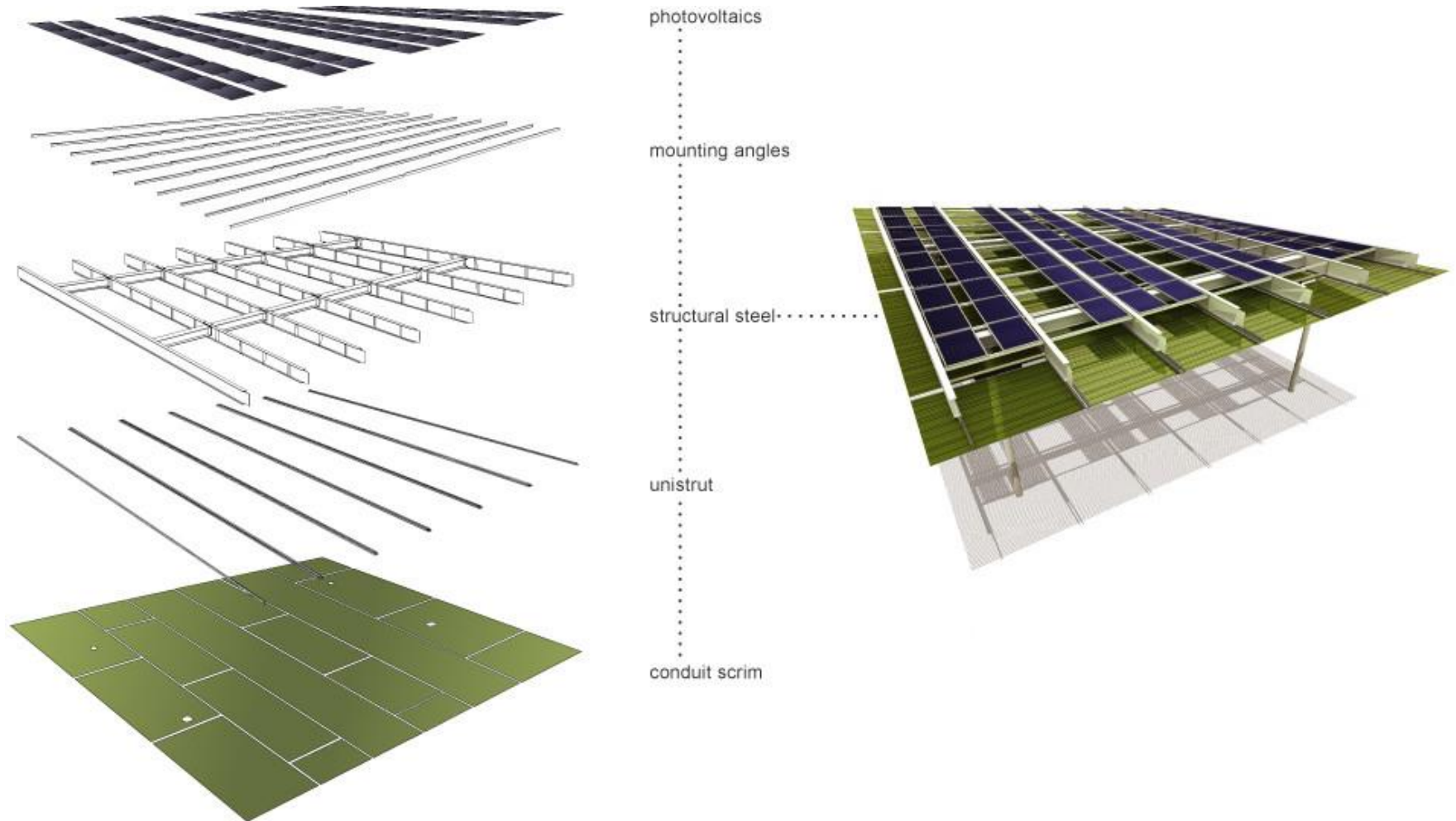


PROJECT STUDIES - Phoenix Civic Space Shade Canopies

Phoenix Campus to create a vital urban center adjacent to the city's new light rail system. The structure uses a tubing structure with sufficient spacing for sunlight to enter. **The second layer of shading is provided above the scrim by photo voltaic cells set (Solar panels) in transparent panels that follow the warped shape of the structure and supply enough power to light the park at night. The structure creates an open outdoor experience.**



PROJECT STUDIES - Phoenix Civic Space Shade Canopies



Essex Mechanical Biological Treatment Facility, Basildon



The An environmentally friendly waste treatment facility in Essex, housed within a number of large steel structures, has required some thoughtful design work. Certain structures spans up to 40m. The building utilises a series portals that uses haunches as brace support rather than the traditional propped or bracket techniques.



Essex Mechanical Biological Treatment Facility, Basildon



Completed building

In relation to how we adapt the building's philosophy to our structure, we require a structure that keeps with the design theme of fluidity where there are a minimal number of pillars or obstruction in the car park. With this portal structure as a base concept for our design, we can design a portal frame that spans 40m without the need for many structural components, allowing for a slicker design and a longer lasting structure.

Quality

- Proper structure used for the design based on C&S calculations and recommendations.
- Proper design for carpark in accordance to By-Laws with integration of landscaping and views of the lake, providing a good overall experience for users.
- Minimal injuries and casualties during the construction process to prevent delays and maintaining a good reputation of the company.

Time

- Weekly Client-Consultant Meetings is held to ensure project is on schedule and on time.
- Regular consultants meeting held internally between all consultants to discuss and quickly solve problems that may arise.
- Strict adherence to Gantt Chart throughout the course of the project.
- Conduct regular site meetings between workers and strict supervision of workers.

Cost

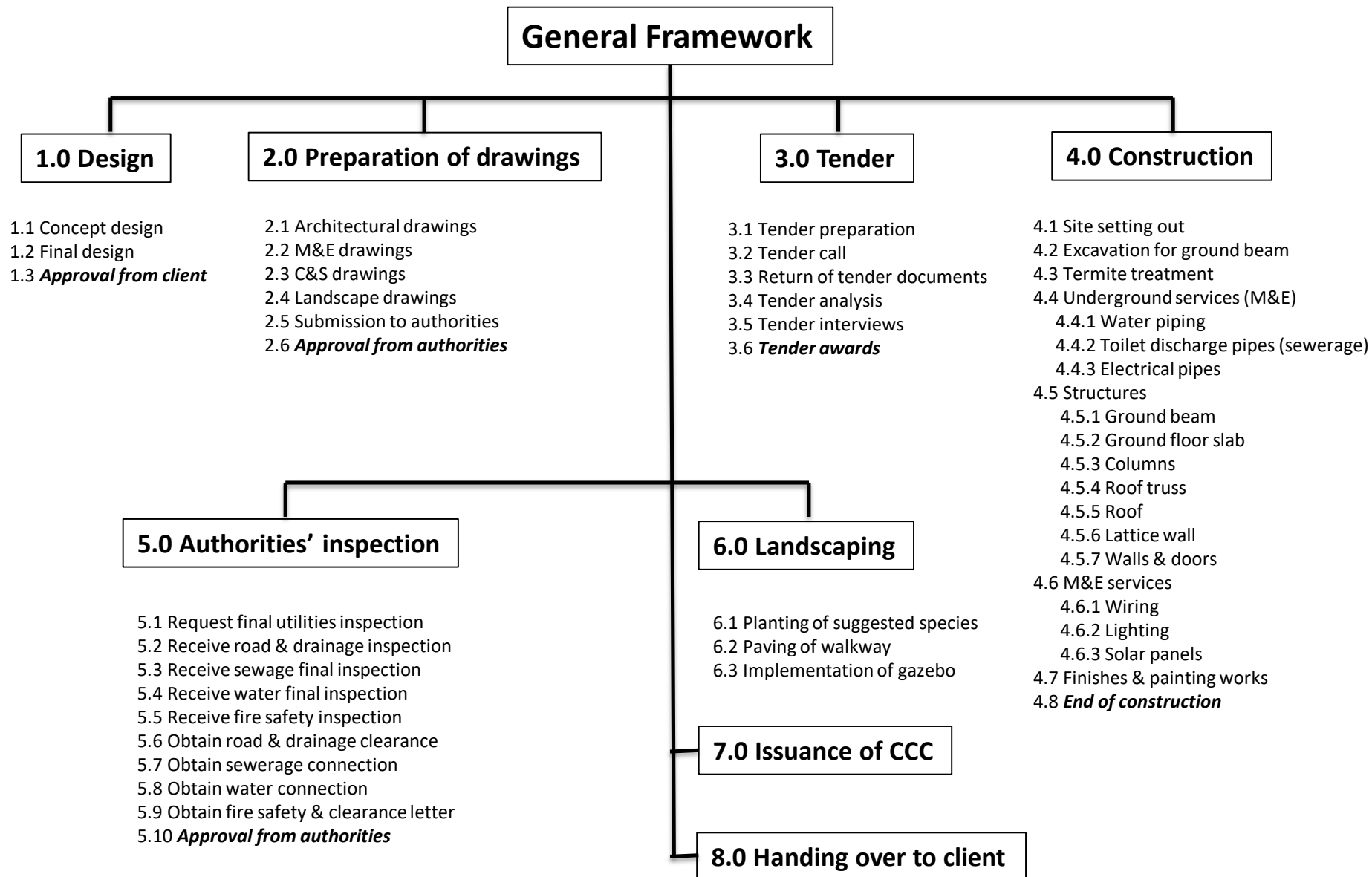
- Detailed calculations of cost and budget by Quantity Surveyor according to estimated current market price of materials and the quality of materials.
- Optimised spending on resources by reducing and reusing materials.
- Renting less machinery because of the use of in-house machineries bought by the company.

Scope

- Risk Analysis is carried out and kept at high priority. Constant awareness of off site safety and health precautions are carried out on site.
- A more accurate timeline and budget estimation is prepared.
- Schedule of project is constantly updated based on changes in the project.



3.0 PROJECT MANAGEMENT - WORK BREAKDOWN STRUCTURE



3.0 PROJECT MANAGEMENT - TASKS

Project Management

Oct 16, 2016

Tasks

2

Name	Begin date	End date
Design	9/5/16	9/23/16
Concept Design	9/5/16	9/10/16
Final Design	9/12/16	9/23/16
Client Confirmation	9/24/16	9/24/16
Authorities Submission	9/28/16	10/31/16
Preparation of Drawings	9/28/16	10/31/16
Architectural Drawings	9/28/16	10/5/16
M&E Drawings	10/6/16	10/13/16
C&S Drawings	10/6/16	10/13/16
Landscape Drawings	10/6/16	10/13/16
Submission to Authority	10/14/16	10/31/16
Authorities Approval	11/1/16	11/1/16
Tender	11/1/16	11/18/16
Tender Preparation	11/1/16	11/12/16
Tender Call	11/1/16	11/7/16
Return of Tender Documents	11/8/16	11/12/16
Tender Analysis	11/14/16	11/17/16
Tender Interviews	11/18/16	11/18/16
Tender Award	11/19/16	11/19/16
Construction	11/21/16	3/3/17
Site Setting Out	11/21/16	11/23/16
Excavation for Ground Beam	11/24/16	11/30/16
Termite Treatment to Soil	12/1/16	12/2/16
Underground Services	12/3/16	12/7/16
Water Piping	12/3/16	12/5/16
Toilet Discharge Pipes(Sewage)	12/6/16	12/7/16
Electrical Pipes	12/6/16	12/7/16
Structural	12/8/16	2/25/17
Ground Beam	12/8/16	1/3/17
Ground Slab	12/26/16	1/20/17
Column	1/12/17	2/7/17
Roof Truss	1/30/17	2/14/17
Roof	2/10/17	2/25/17
Lattice Wall	2/10/17	2/25/17
Doors & Gates	2/25/17	2/25/17
Landscaping	2/15/17	2/25/17
Paving	2/15/17	2/20/17
Planting	2/15/17	2/25/17
Gazebo	2/15/17	2/25/17
M&E Services	2/8/17	2/9/17
Finishes & Painting Works	2/27/17	3/3/17
Construction Ends	3/4/17	3/4/17
Cleaning/Testing & Commissioning	3/3/17	3/3/17
Authorities Inspection	3/6/17	3/24/17
Request final utilities inspections through OSC	3/6/17	3/6/17
Receive road and drainage inspection	3/10/17	3/10/17
Obtain road and drainage clearance letter	3/11/17	3/24/17
Receive sewage final inspection and obtain sewage clearance letter	3/10/17	3/10/17
Obtain sewerage connection	3/11/17	3/24/17
Receive water final inspection and clearance letter	3/10/17	3/10/17
Obtain water connection	3/11/17	3/14/17
Receive fire safety inspection	3/10/17	3/10/17
Obtain fire safety clearance letter	3/10/17	3/23/17
Authorities Approval	3/24/17	3/24/17
Issuance of CCC	3/24/17	3/25/17
Handing Over to Client	3/27/17	3/27/17

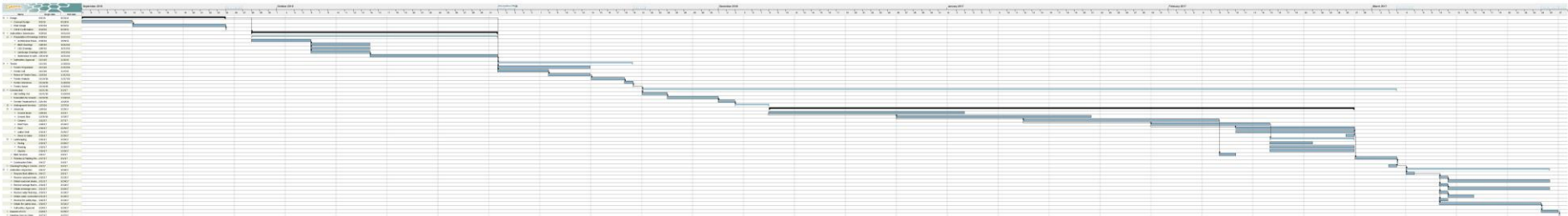
3.0 PROJECT MANAGEMENT - GANTT CHART AND RESOURCE CHART

Project Management

Oct 16, 2016

Gantt Chart

4



Project Management

Oct 16, 2016

Resources Chart

5



3.0 PROJECT MANAGEMENT - RISK ANALYSIS AND MANAGEMENT

RISK	SEVERITY	LIKELIHOOD	COST	IMPACT	STRATEGY AND MITIGATION
Site Excavation					Obtain data on site from authorities with supervising surveyor.
Damage on existing wiring	2/5	1/5	Low	Extra cost for cables, accidents	
Damage on existing water pipes	2/5	1/5	Low	Extra cost for piping	
Damage on neighbouring buildings	3/5	1/5	Medium	Compensate neighbours	
Consultants Liability					Ensure drawings are detailed with supervision of architect and engineer.
Wrong construction specifications	3/5	5/5	Medium	Project delayed	
Wrong cost estimation	2/5	4/5	Medium	Project budget exceeded	
Labour					Safety officer to ensure proper safety procedures during construction.
Worker injuries	3/5	2/5	Medium	Lawsuits, fines, compensations	
Worker deaths	4/5	1/5	High	Lawsuits, fines, compensations	
Shortage of workers	4/5	2/5	High	Work delayed, contract fines	
Construction					Site manager to ensure construction follows specifications.
Wrong installation	2/5	1/5	Medium	Extra labour, material cost, delays	
Change of design	3/5	1/5	High	Extra labour, material cost, delays	Project manager to ensure client does not violate contracts.
Time delay	3/5	1/5	Medium	Fines & extra labour cost	
Maintenance risk	2/5	1/5	Low	Extra amenities & labour cost	
Unavailable utilities	1/5	1/5	Medium	Water & electricity mains cut	
Machinery & Tools					Ensure trust between suppliers and contractor. Good planning of machinery usage. Extra labour required to be employed by HR.
Breakdown of plant & machines	2/5	1/5	High	High cost of repair	
Lack of site mobility	1/5	2/5	Low	Delays	
Insufficient tools & machines	1/5	1/5	High	Extra cost & delays	
Delay of operation time	2/5	1/5	Medium	Delays	
Building Materials					Ensure trusted suppliers, secure site parameters. Extra materials from damages to be counted in preliminary cost. Leftover materials to be carried forward to other projects or sold.
Insufficient quantity	1/5	1/5	Medium	Project budget exceeded	
Extra materials	1/5	1/5	N/A	Wastage	
Delayed delivery	1/5	1/5	Low	Delays	
Defective materials	1/5	2/5	Medium	Extra material cost	
Stolen materials	1/5	1/5	Medium	Extra material cost	
Natural Disasters					Proper storage and protection for materials to be provided.
Heavy downpour	1/5	4/5	Low	Defective materials & structures	
High humidity	1/5	2/5	Low	Defective materials & structures	
Others					Background check on client's finances, obtain legal advisor. Hire security guard.
Client bankruptcy	5/5	1/5	High	Project suspension	
On-site security	2/5	2/5	Low	High project cost, delays	

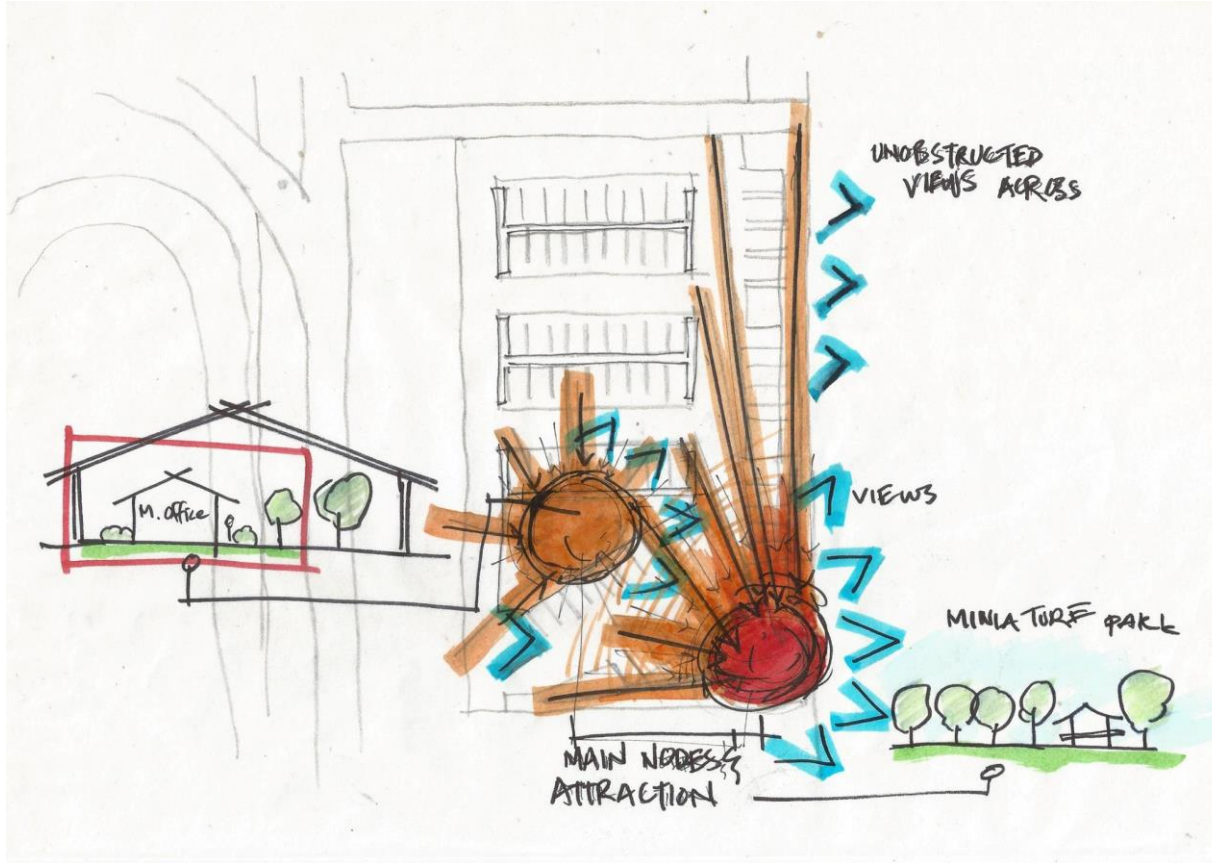
DESIGN STATEMENT



FLUIDITY -

As the architect, I want to design the car park in a way that provides constant fluid motion for both vehicles and the users. By creating proper flow, it maximises efficiency in terms of time saved travelling from point A to point B, as well as decreasing chances of obstructions and risks.

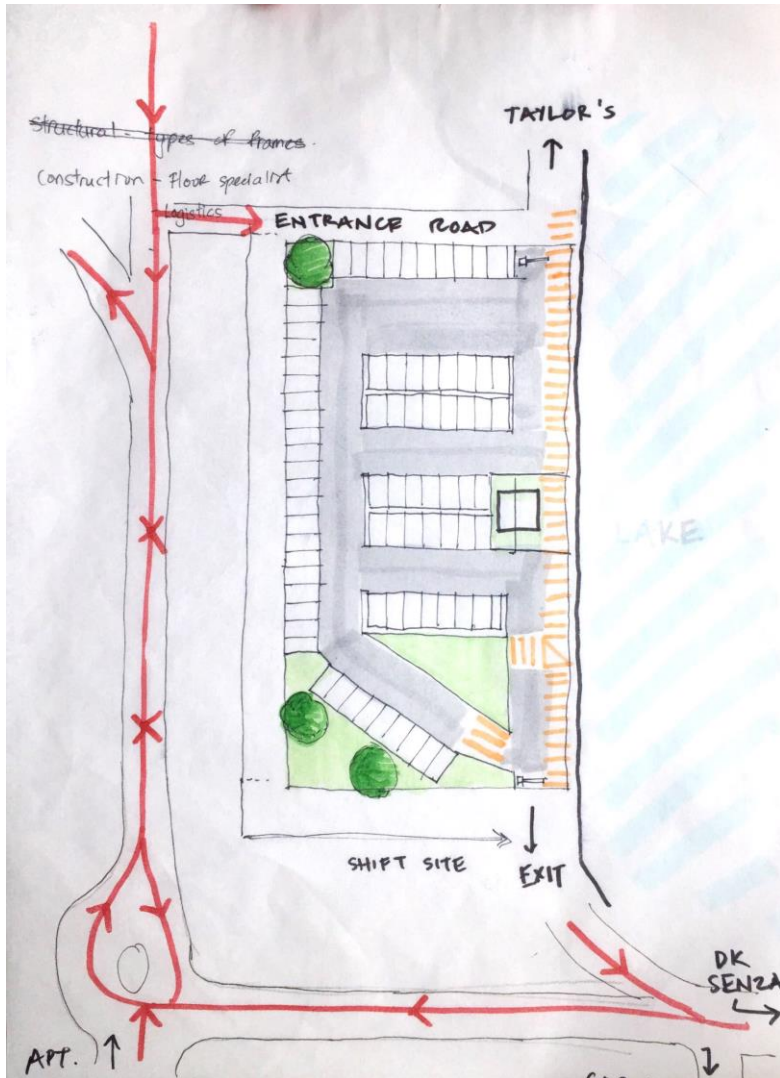
DESIGN STATEMENT



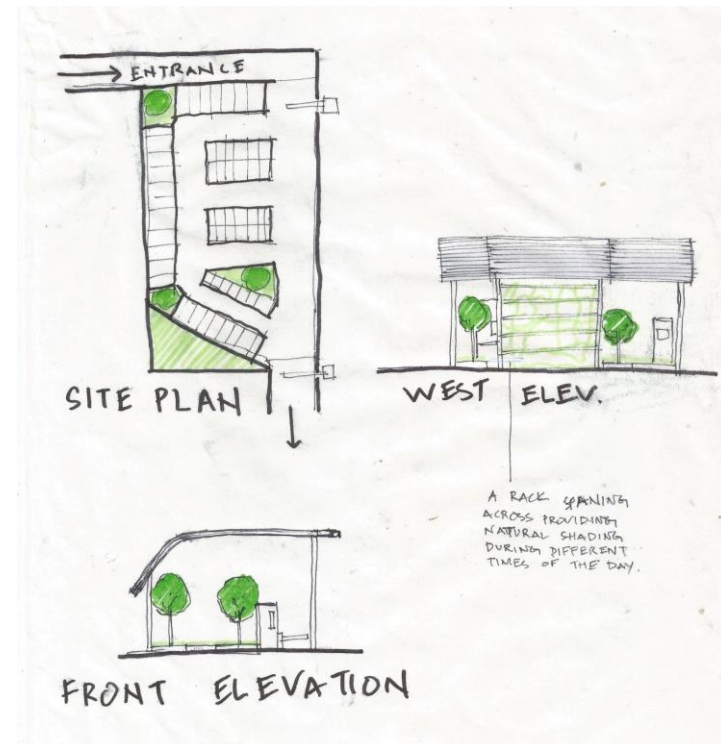
UTILISING SITE ATTRACTIONS

In order for a design to succeed in capturing user attention, it is apparent that the natural site qualities be utilised. In this case, Taylor's University has spectacular views. By complimenting the site with miniature parks to act as nodes, the car park seems more inviting and uplifting.

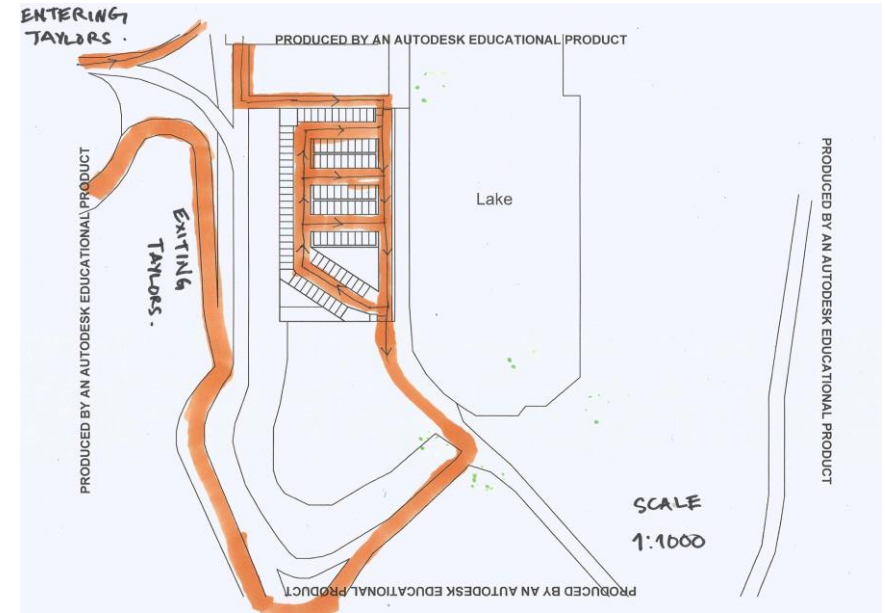
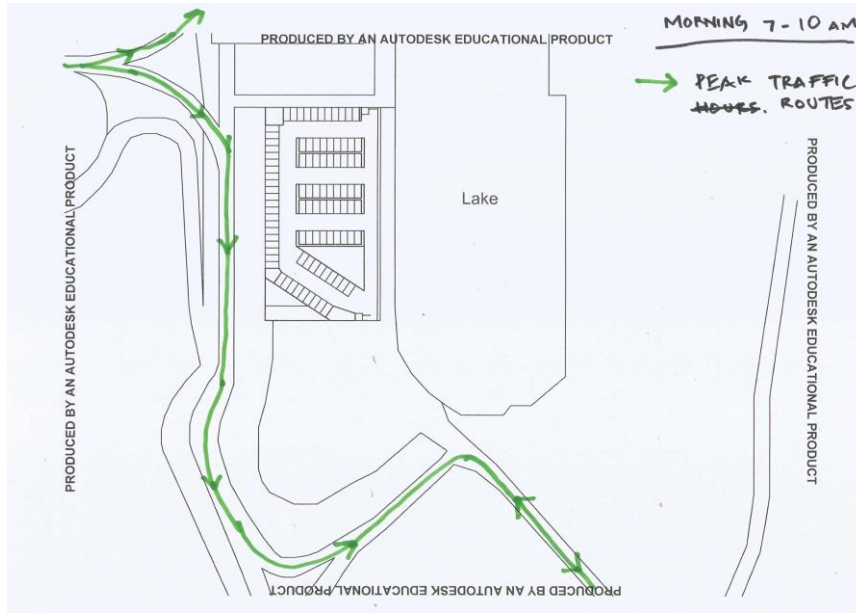
CONCEPTUAL IDEAS - EARLY CONCEPT



In terms of adaptation to site, I planned the layout of the car park to suit the fluid vehicular pathing of the current site. In addition, the human pathing is located on the lake end of the car park for users to experience the qualities Taylor's Lakeside has to offer.



CONCEPTUAL IDEAS – SOLVING SITE ISSUES



When we sent in our site surveyors, they noticed a common complaint among students: traffic, lack of parking and congestion. These are early sketches depicting the traffic congestion issue in the morning from 7 – 10 AM. As mentioned earlier, the fluidity of the space is key to tackling the problem.

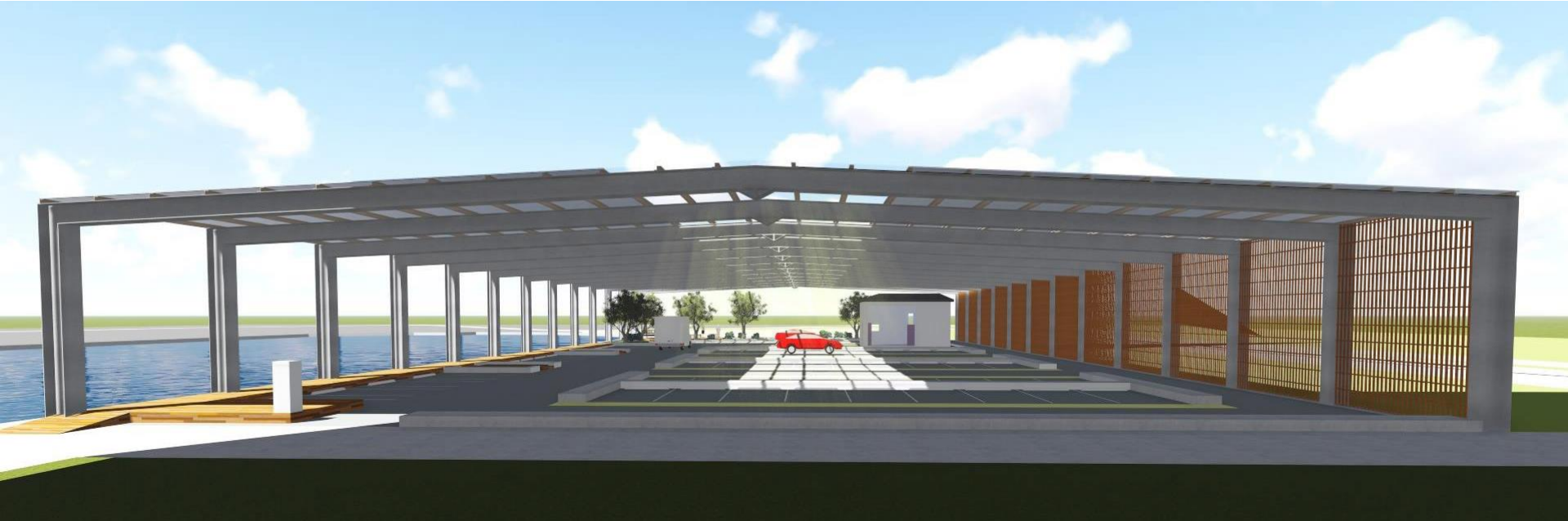
PROPERTIES



VINE WALL

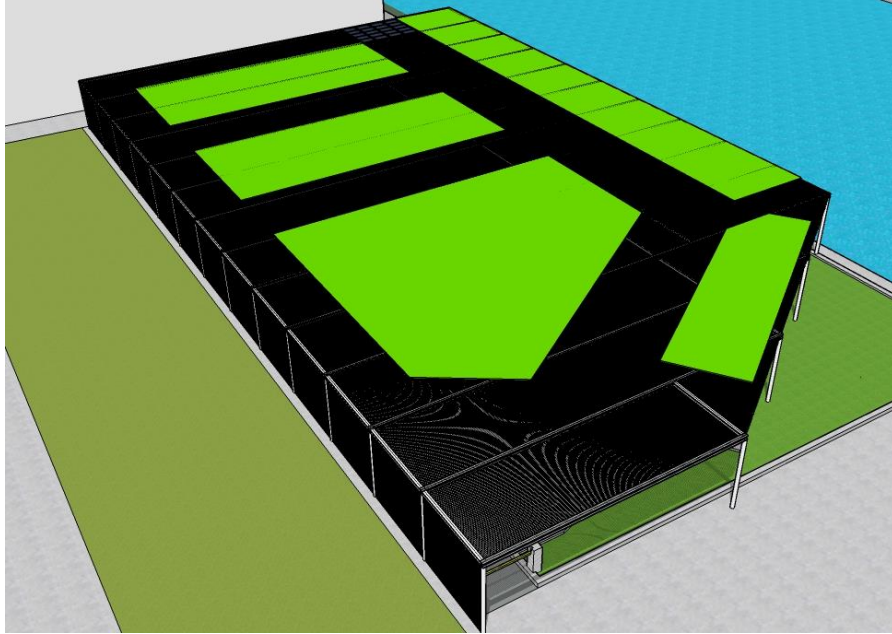
The concept was to compliment the eco-friendly design with plantations. The pitched allows the rainwater to slope into the timber vine wall, creating a self sustainable plantation. The vine wall serves as a shade from the sunlight, as well as a natural source of oxygen which generates a cooling effect within the space.

PROPERTIES



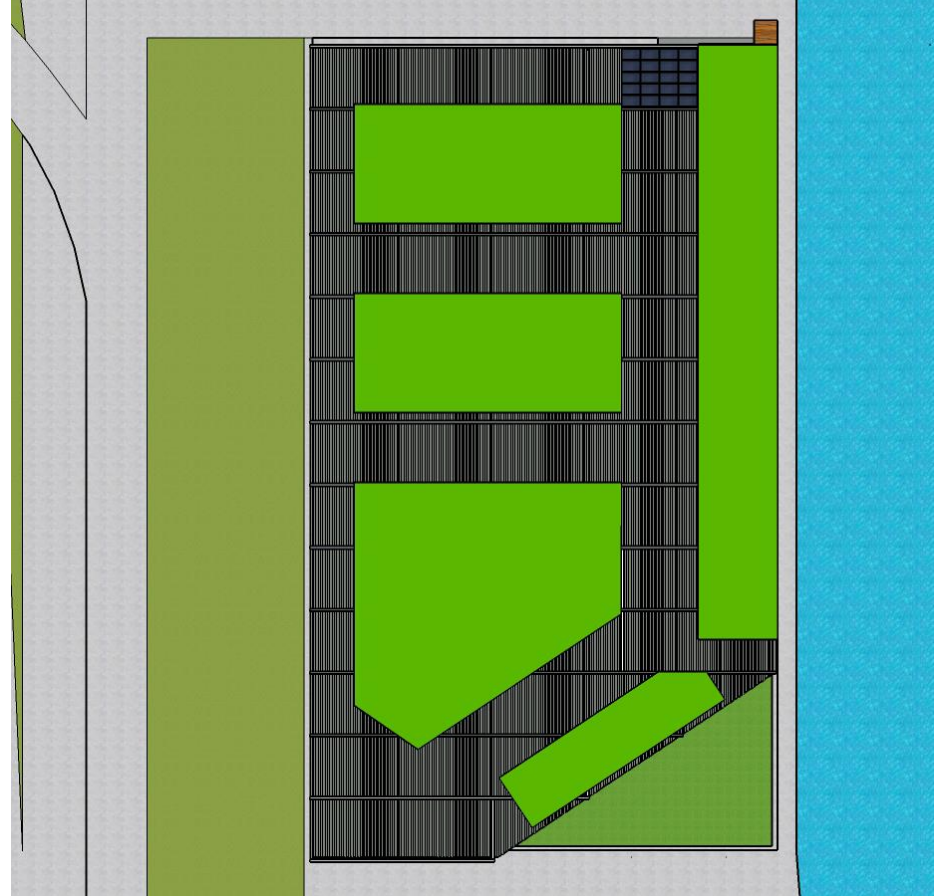
SKYLIGHT – Although the Car Park is an open space, the amount of natural light in the space itself is minimal. To accommodate for the situation, translucent Polycarbonate sheets are placed in the center to disperse light throughout the space. The use of insufficient lighting can cause waste of energy, leading to future problems.

MASSING

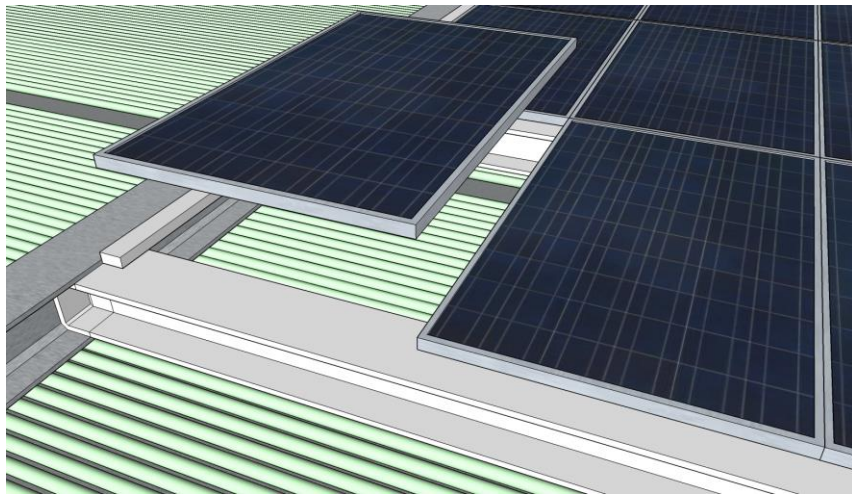
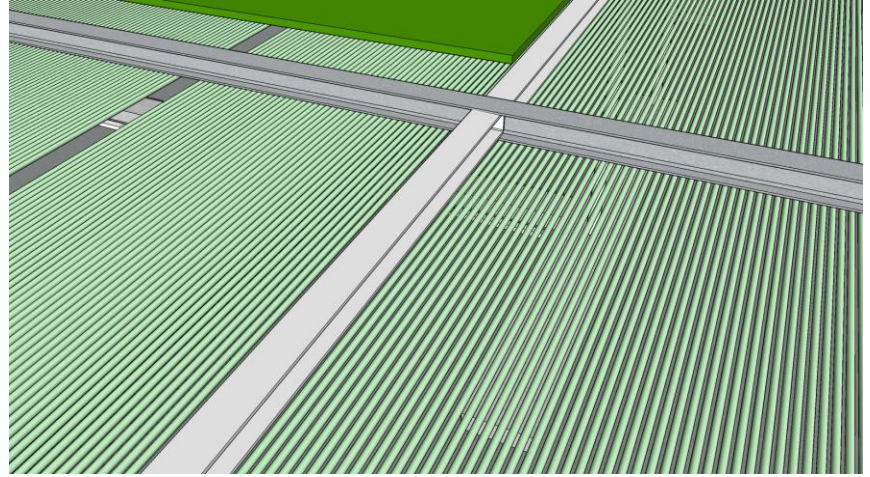
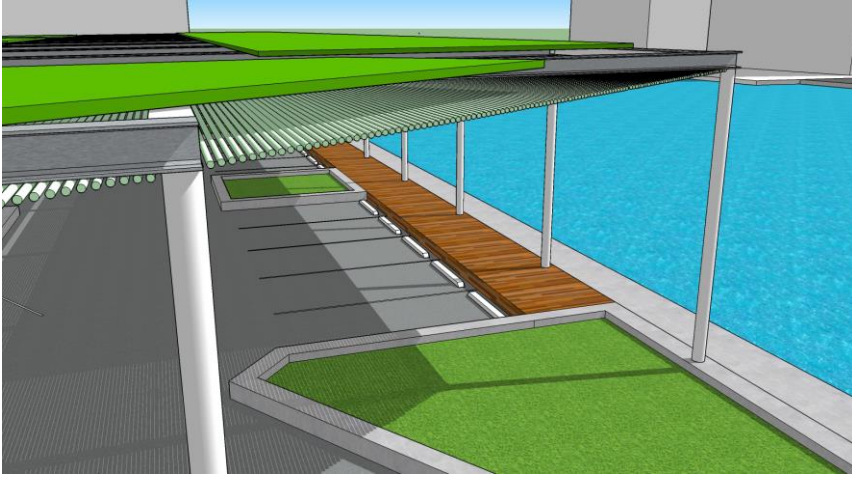


INITIAL MASSING

The roof design is made out of plastic tubings with gaps allowing light to enter. The solid metal roof plates represents the areas that require shading (parking spaces, general walkpaths, green 'islands').



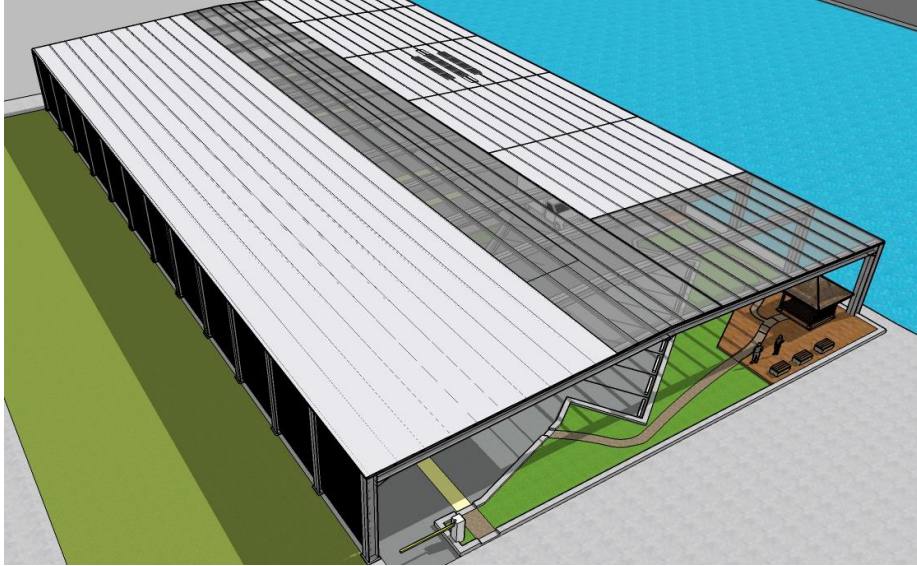
MASSING – INITIAL MASSING



RISKS AND SETBACKS

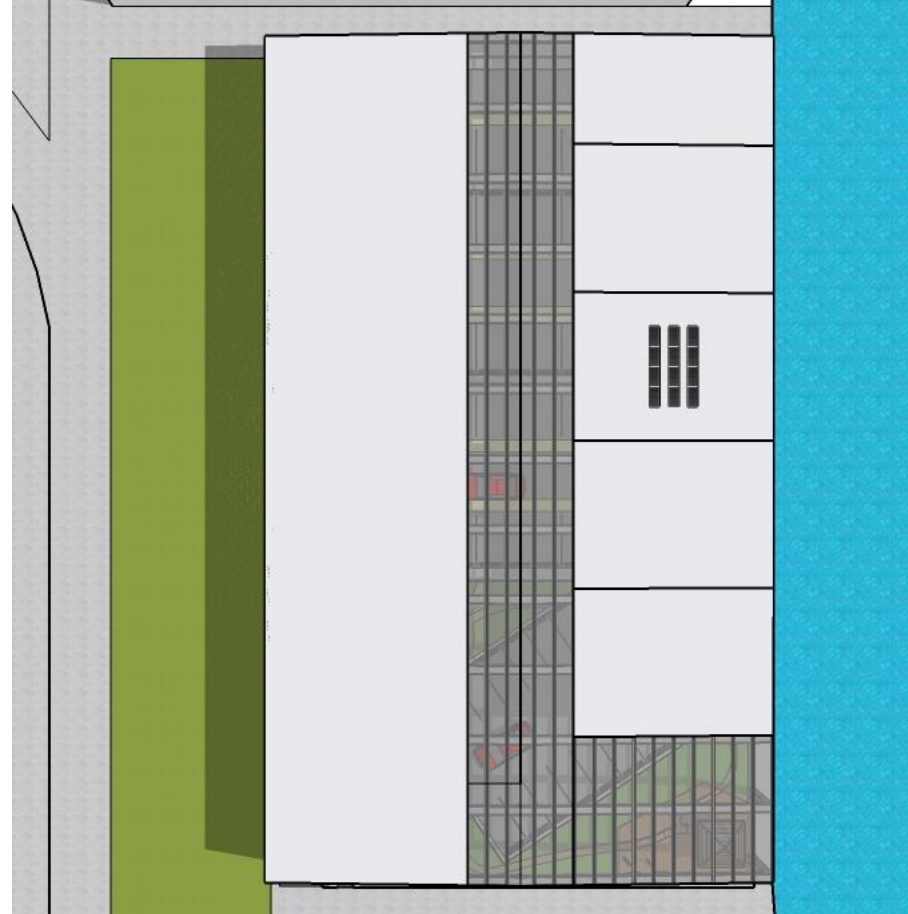
- The number of plastic tubings at specific lengths and numbers are cost heavy.
- The gaps between tubings allow rain to enter causing flooding in the car park.
- Overall complicated to build, unforeseen matters such as lack of materials may arise.
- Because the structure itself allows a lot of rain to enter, it is not electronically friendly.

MASSING



FINAL MASSING

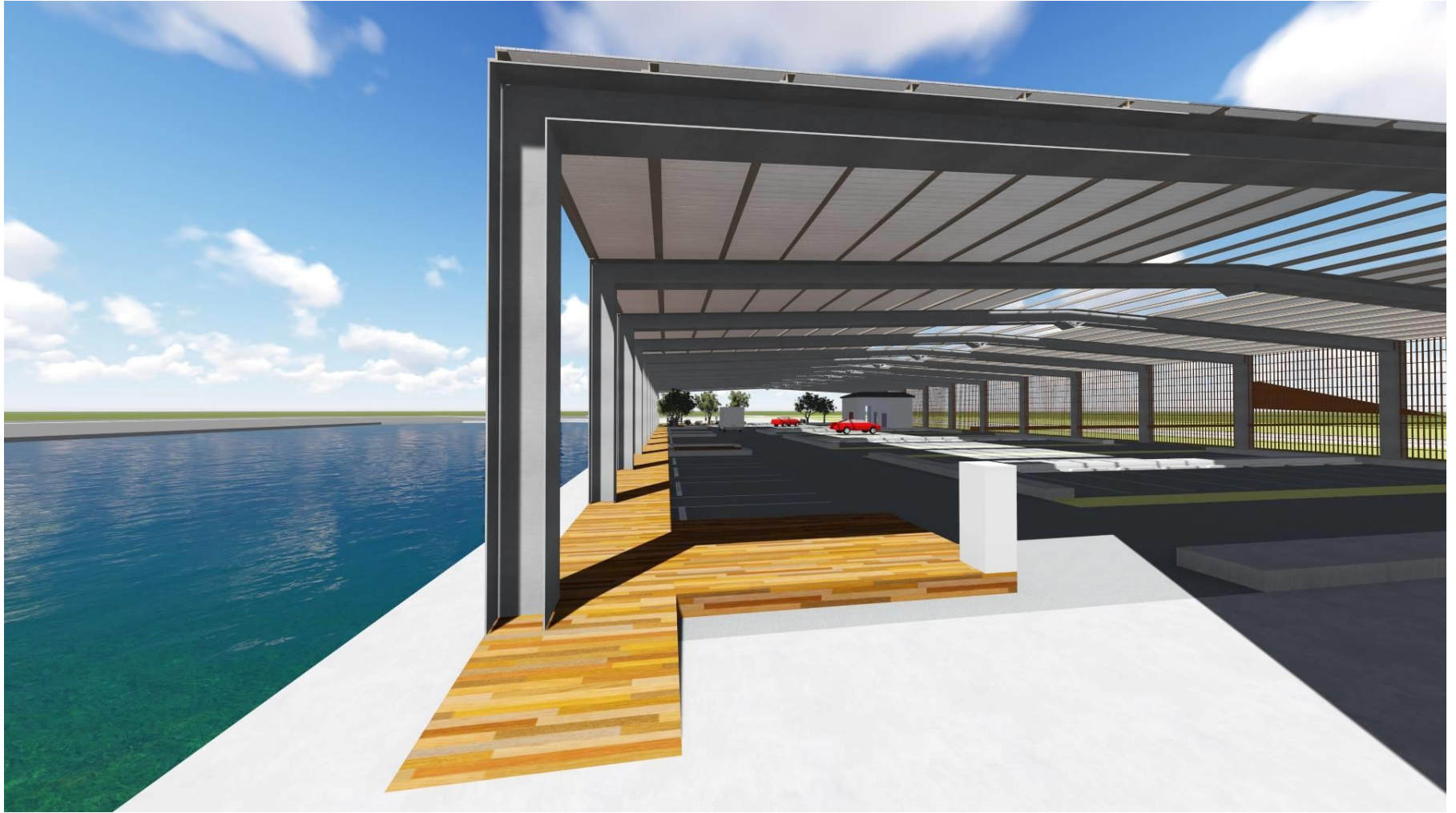
The overall design was replaced with portal frames. The roof incorporates skylight by using translucent polycarbonate sheets. All previous risks has been analysed with the consultants to produce this final outcome.





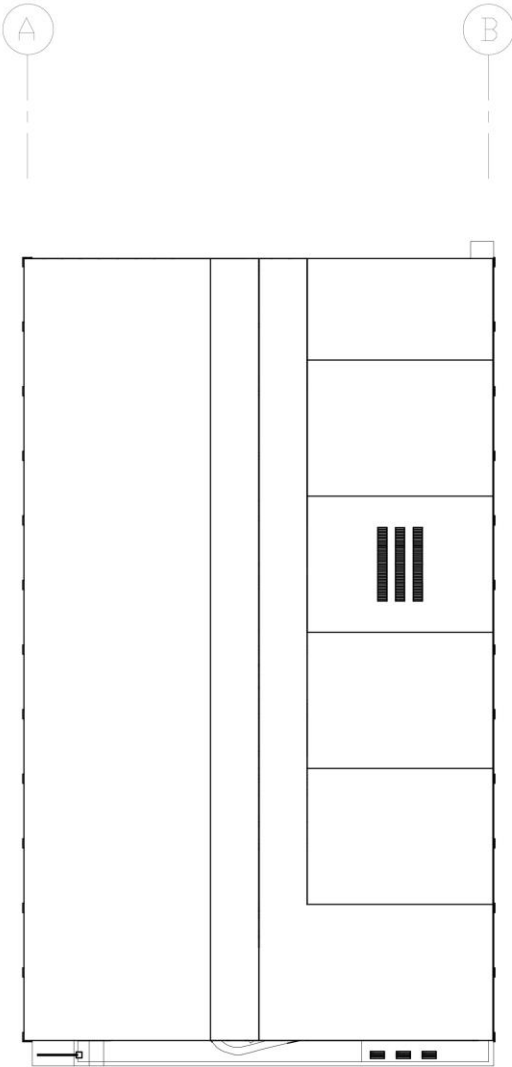
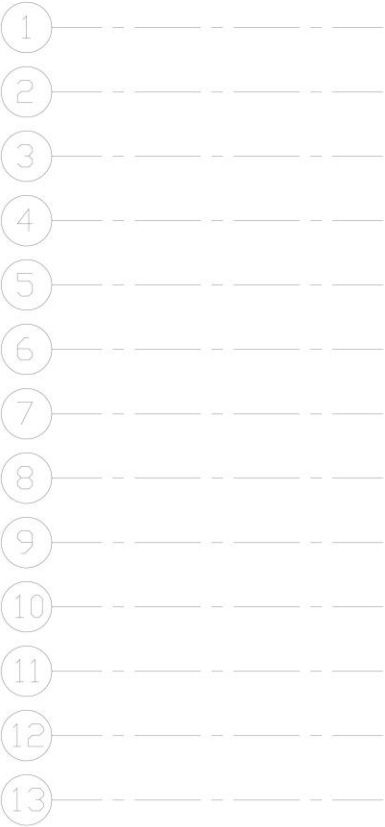










4.0 ARCHITECTURAL - DESIGN DEVELOPMENT

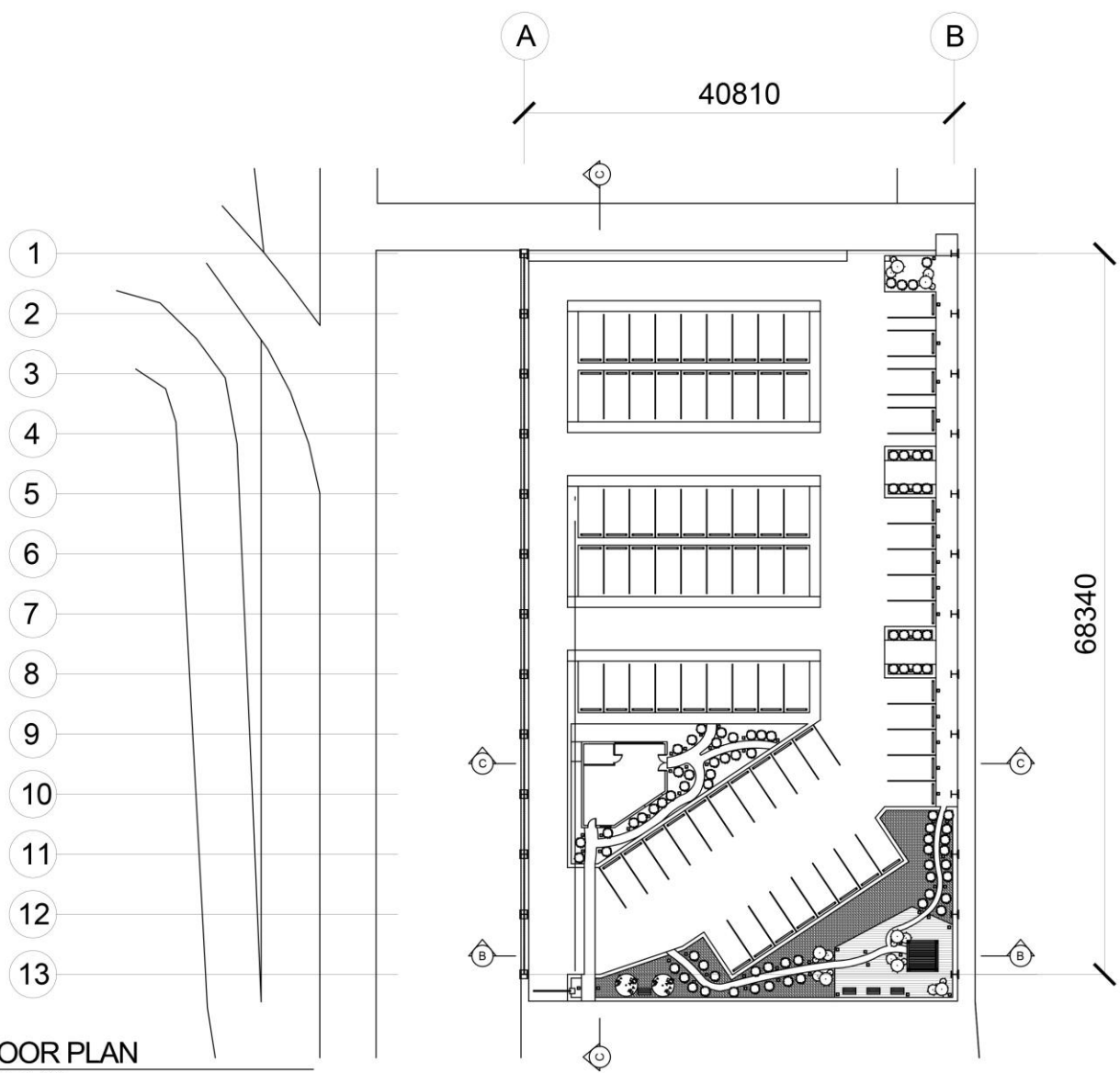



ROOF PLAN
SCALE 1:400

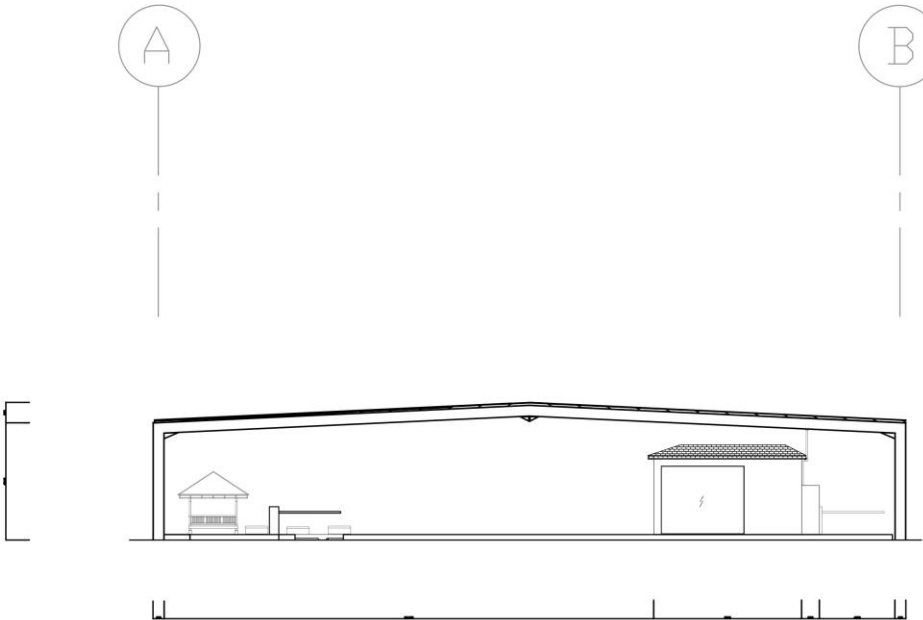
COP PENJAT TAJAN JABATAN		NO. BIRU
COP KELUSUWATAN TAJAN MALIS		
PERUAI PERINDAH PEMBANGUNAN		
TAKUK FIGURE CADANGAN PEMBANGUNAN ZON LETAK KERETA YANG DIUNDUNGI YANG MENGANDUNGI : 1) 73 UNIT TEMPAT LETAK KERETA DAN 4 UNIT TEMPAT LETAK KERETA ONK (1 TINGKAT), 2) 1 UNIT PEJABAT PENGURUSAN DAN 1 RUANG PENGAWAL, 3) 1 UNIT GAZEBO 4) 1 JALAN LALUAN DI TEPI TAPAK 'LAKESIDE' 5) 1 UNIT STESEN SUS UTAMA (SSU) DI ATAS LOT 12666 (TANAH PERIBADI TAYLORS UNIVERSITI), JALAN TAYLOR'S, 47500 SUBANG JAYA, SELANGOR, MALAYSIA. UNTUK : TAYLOR'S EDUCATION GROUP		
TANDAKAN PERUBAH TAJAN / PERAKSI		
Tajwan DATO' LOY TEIK NGAN NO.K/P: 750701-14-0273 TAYLORS EDUCATION GROUP (CO. NO. : 18281-H) NO. 1, JALAN ESTER, 47500 SUBANG JAYA, SELANGOR, MALAYSIA.		
ARKITEK  Cikmat Mahatma Mahatma 171, Jalan Mahatma, 40100 Tel: 03-4333 1000 Fax: 03-4333 1010 Email: cikmatmahatma@gmail.com "Saya bertanggungjawab dalam memastikan bahawa semua data yang diberikan adalah benar dan tepat untuk tujuan yang dimaksudkan. Saya bertanggungjawab dalam memastikan bahawa semua data yang diberikan adalah benar dan tepat untuk tujuan yang dimaksudkan. Saya bertanggungjawab dalam memastikan bahawa semua data yang diberikan adalah benar dan tepat untuk tujuan yang dimaksudkan."  Ar. Daniel Zam Mazlan ARKITEK PROFESIONAL No. Pendaftaran LAM: AIN 595		
TAKUK LUKSIAN ROOF PLAN		
Scale : 1:400	Date : OCTOBER 2016	
Drawn by : DANIEL M.	Checked by : T.K.J.	
NO. LUKSIAN PNA121 / SS / JPIF / 045	PRISAN 0	
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4.0 ARCHITECTURAL - DESIGN DEVELOPMENT

FLOOR PLAN
SCALE 1 : 400




COP PRONGKAT TITIKAN JALAN		NO. 100
COP KELLUSUNTANDANGAN MAJLIS		
PESAWA PUNDAU PEMERKAWAN		
<p>TAKIR PROJEK CADANGAN PEMBANGUNAN ZON LETAK KERETA YANG DIUNDUNGI YANG MENGANDUNGI :</p> <ul style="list-style-type: none">1) 73 UNIT TEMPAT LETAK KERETA DAN 4 UNIT TEMPAT LETAK KERETA OKU (1 TINGKAT)2) 1 UNIT PEMBAT PENGURUSAN DAN 1 RUANG PENGAWAL3) 1 UNIT GAZERO4) 1 JALAN LALUAN DI TEPI TAPAK 'LAKESIDE'5) 1 UNIT STESEN SUS UTAMA (SSU) <p>DI ATAS LOT 12666 (TANAH PERIBADI TAYLORS UNIVERSITI), JALAN TAYLORS, 47500 SUBANG JAYA, SELANGOR, MALAYSIA. UNTUK : TAYLORS EDUCATION GROUP</p>		
TANDANGAN PEMERKAWAN 10001 (PEMAU)		
<p>Pengarah DATO' LOY TEK NGAN NO.KP. 750791-14-0273 TAYLORS EDUCATION GROUP (OO. NO. 182801-4) NO. 1, JALAN SS118, 47500 SUBANG JAYA, SELANGOR, MALAYSIA. E-mail: www.taylors.edu.my</p>		
<p>ARKITEK</p> <div><p>Ar. Daniel Zain Mazlan ARKITEK PROFESIONAL No Pendaftaran: LAM / AM 655</p></div> <p><small>*Saya mengesahkan bahawa semua data dalam plan plan ini adalah benar dan sah berdasarkan maklumat yang diberikan oleh pelanggan. (Majlis Perundangan Kuala Lumpur) 1991 dan semua maklumat yang diberikan adalah benar dan sah.</small></p>		
TAKIR LUKSUN		
FLOOR PLAN		
Scale : 1:400	Date : OCTOBER 2016	
Drawn by : DANIEL M.	Checked by : T.K.U.	
No LUKSUN : PNA121 / SS / JP / 067	FINJAN	0
<small>THIS DRAWING IS COPYRIGHT. CONTAINMENTS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS ARE TO BE USED FROM DIMENSIONS MAY BE REPORTED IMMEDIATELY TO THE ARCHITECT BEFORE PROCEEDING.</small>		





FRONT ELEVATION

SCALE 1 : 250

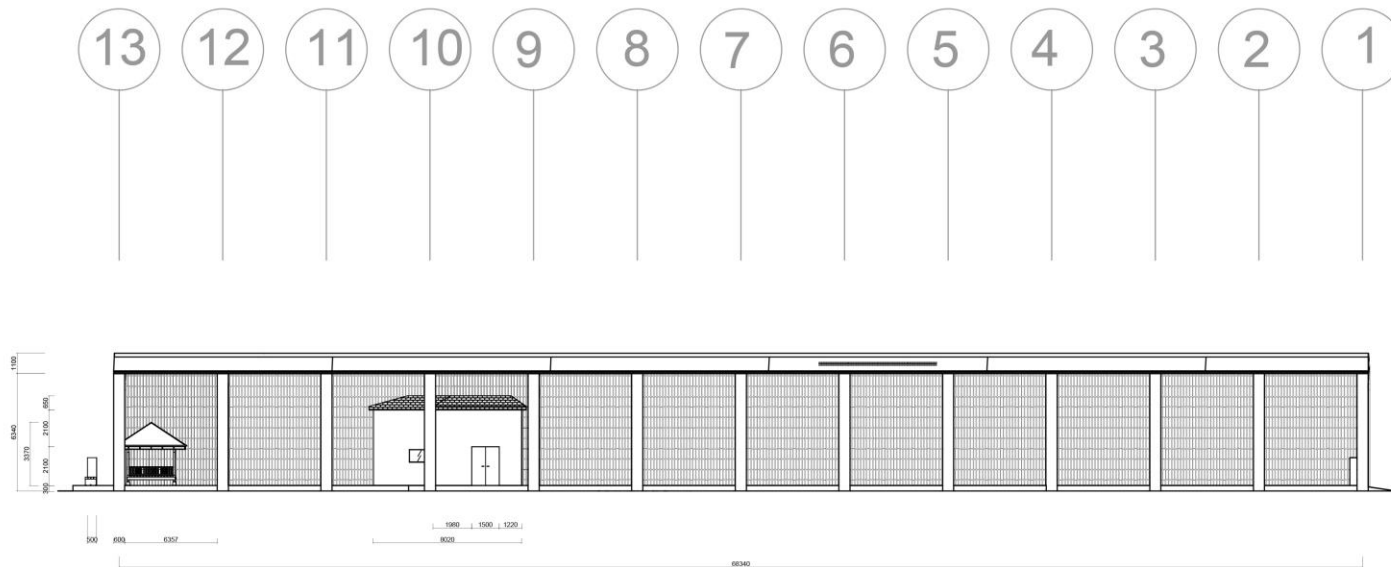
COP PENCIAP TAJUK AJARAN		NO 5892
COP KELULUSAN TANEKARAN MALIS		
PERAWA PERINCHE PEMBAKUNAN		
TAKIR PROJEK: CADANGAN PEMBANGUNAN ZON LETAK KERETA YANG DIUNDUHI YANG MENGANDUNGI : 1) 73 UNIT TEMPAT LETAK KERETA DAN 4 UNIT TEMPAT LETAK KERETA OKU (1 TINGKAT), 2) 1 UNIT PELABAT PENGURUSAN DAN 1 RUANG PENGALIH, 3) 1 UNIT GAZEBO 4) 1 JALAN LALUAN DI TERI TAPAK 'LAKESIDE' 5) 1 UNIT STESEN SUS UTAMA (SSU) DI ATAS LOT 12666 (TANAH PERIBADI TAYLORS UNIVERSITI), JALAN TAYLOR'S, 47500 SUBANG JAYA, SELANGOR, MALAYSIA. UNTUK : TAYLOR'S EDUCATION GROUP		
TANAKANJARAN TERSEBUT (TANAH PERALU)		
Pengerusi: DATO' LOY TEIK NGAN NO.K/P: 780701-14-0273 TAYLORS EDUCATION GROUP (CO. NO. : 182881-H) NO. 1, JALAN 55156, 47500 SUBANG JAYA, SELANGOR, MALAYSIA.		
ARKITEK:  Arkitek Profesional No Pendaftaran LAM: A/N 696 "Saya bertanggungjawab untuk memastikan bahawa projek ini adalah sesuai untuk dilaksanakan berdasarkan Undang-Undang Undang-Undang (Undang-Undang) Perundangan Kumpulan 1981 dan saya telah menerima pengesahan projek dengan sempurna"		
TAKIR LUKSUS: FRONT ELEVATION		
Scale : 1:250		Date : OCTOBER 2016
Drawn by : DANIEL M		Checked by : T.K.J
NO LUKSUS: PNA121 / SS / JPIF / 045		PROJEK: 0
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REAR ELEVATION

SCALE 1 : 250

CDP PENCAMBARAN JAJARAN NO 8888	
CDP KELLUSANTANDANGAN MALIS : Jajangan PERAPAT/POINTE/PEMBANGUNAN:	
TAJUK PROJEK CADANGAN PEMBANGUNAN ZON LETAK KERETA YANG DIUNDUNGI YANG MENGANDUNGI : 1) 73 UNIT TEMPAT LETAK KERETA DAN 4 UNIT TEMPAT LETAK KERETA OKU (1 TINGKAT), 2) 1 UNIT PESABAT PENGURUSAN DAN 1 RUJANG PENGARAH, 3) 1 UNIT GAZEBO 4) 1 JALAN LALUAN DI TEPI TAPAK 'LAKESSIDE' 5) 1 UNIT STESEN SUS UTAMA (SSU) DI ATAS LOT 12666 (TANAH PERIBADI TAYLORS UNIVERSITI), JALAN TAYLOR'S, 47500 SUBANG JAYA, SELANGOR, MALAYSIA. UNITUR : TAYLOR'S EDUCATION GROUP	
TANDATANGAN PEMILIK TANAH / PEMAU: Tandatangani DATO' LOY TEIK NGAN NO.KIP : 787091-14-0279 TAYLOR'S EDUCATION GROUP (CD NO. : 18280-H) NO. 1, JALAN SETIA, 47500 SUBANG JAYA, SELANGOR, MALAYSIA.	
ARKITEK  CUBAHI BERKUALITI DAN BERKUALITI 87, JALAN KEMERDEKAAN NO. 401-010, KEMERDEKAAN, 40100 KUALA LUMPUR, MALAYSIA E-MAIL: arkitek@arkitek.com.my *Sila semaklah bahawa tidak akan dapat paku paku ni adalah memuat informasi bahawa ini adalah hanya untuk tujuan maklumat sahaja dan tidak boleh digunakan untuk tujuan lain. *Sila semaklah bahawa tidak akan dapat paku paku ni adalah memuat informasi bahawa ini adalah hanya untuk tujuan maklumat sahaja dan tidak boleh digunakan untuk tujuan lain.	
 Ar. Daniel Zam Mazlan ARKITEK PROFESIONAL No Pendaftaran LAM : AN 688	
TAJUK LUKSIAN REAR ELEVATION	
Scale : 1:250 Drawn by : DANIEL M. NO LUKSIAN : PNA121 / SS / JPIF / 046	Date : OCTOBER 2016 Checked by : T.K.J. PENGAR : 0
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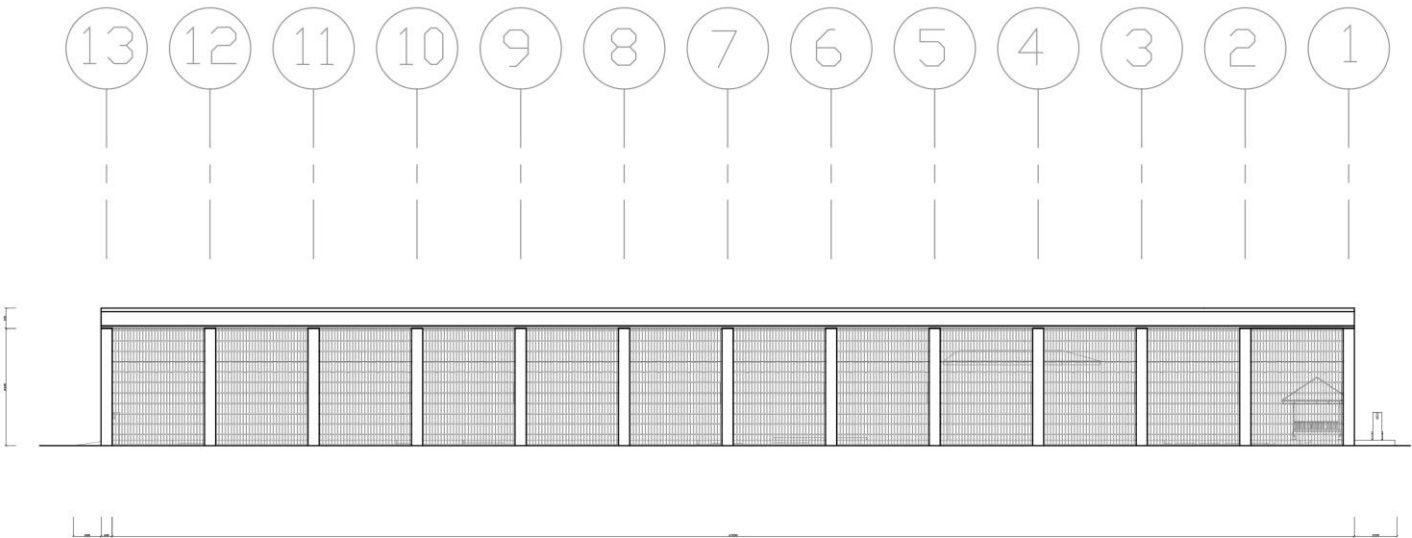
4.0 ARCHITECTURAL - DESIGN DEVELOPMENT



LEFT ELEVATION


SCALE 1 : 250

COPYRIGHT TARIKUN JAWAH		NO 001
COP KELLUSANTANGKARAN MALIS		
PERNYATAAN PEMBAHANGKUN		
<p>TAKUT PROJEK</p> <p>CADANGAN PEMBAHANGKUN ZON LETAK KERETA YANG DIUNDUNGI YANG MENDUNGI:</p> <p>1) 73 UNIT TEMPAT LETAK KERETA DAN 4 UNIT TEMPAT LETAK KERETA OKU (3 TINGKAT),</p> <p>2) 1 UNIT PEBAT PENGURUSAN DAN 1 RUANG PENGAKAL,</p> <p>3) 1 UNIT GAZBO</p> <p>4) 1 JALAN LALUAN DI TEPI TAPAK 'LAKESIDE'</p> <p>5) 1 UNIT STESEN SUS UTAMA (SSU)</p> <p>DI ATAS LOT 12666 (TANAH PERIBADI TAYLORS UNIVERSITI), JALAN TAYLOR'S, 47500 SUBANG JAYA, SELANGOR, MALAYSIA.</p> <p>UNTUK : TAYLOR'S EDUCATION GROUP</p>		
<p>TANGKAPAN PERILAKU TANAH (PETA)</p> <p>Peta CARO LOY TEK NGIAN NO.KIP : 780701-14-0273 TAYLOR'S EDUCATION GROUP (CO. NO. 18281-A)</p> <p>NO. 1, JALAN SISUI, 47500 SUBANG JAYA, SELANGOR, MALAYSIA</p>		
<p>ARKITEK</p> <p></p> <p>Dr. Daniel Zam Zam ARKITEK PROFESIONAL No Pendaftaran LAM : AM 006</p> <p>..... Dr. Daniel Zam Zam ARKITEK PROFESIONAL No Pendaftaran LAM : AM 006</p> <p>"Saya menyetujui bahawa saya telah dibuat dengan baik dan benar untuk semua maklumat yang diberikan kepada saya oleh Arkitek Profesional ini." (Saya menyetujui bahawa saya telah dibuat dengan baik dan benar untuk semua maklumat yang diberikan kepada saya oleh Arkitek Profesional ini.)</p>		
<p>TAKUT LUKS</p> <p>LEFT ELEVATION</p> <p>Scale : 1/250 Date : OCTOBER 2016 Drawn by : DANIEL M. Checked by : T.K.J. No LUKS : PNA121/S / JPIF / 045 PERMAN 0</p>		
<p>THIS DRAWING IS COPYRIGHT. CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY IF MEASURED DIMENSIONS ARE TO BE USED FROM THIS DRAWING. DISCREPANCIES MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT BEFORE PROCEEDING.</p>		



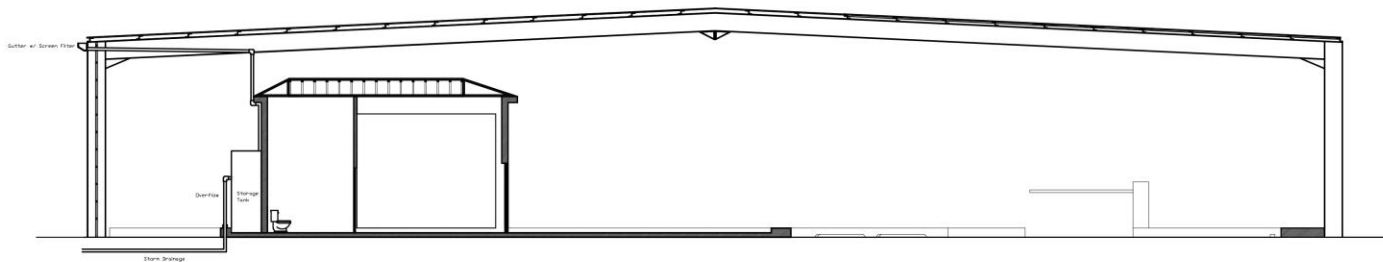
RIGHT ELEVATION

SCALE 1 : 250

COP PENCAH TAJUK JAGJAGAN		NO. BIRI
COP KELUARAN TANDANGAN MAJLIS		
PERAPAT PERHATIAN PEMBANGUNAN		
<p>TAKSI PERILAKU CADANGAN PEMBANGUNAN ZON LETAK KERETA YANG DILUNDUNGI YANG MENGANDUNGI : 1) 73 UNIT TEMPAT LETAK KERETA DAN 4 UNIT TEMPAT LETAK KERETA ONG (1 TINGKAT), 2) 1 UNIT PEJABAT PENGURUSAN DAN 1 RUANG PENGAWAL, 3) 1 UNIT GAZEBO 4) 1 JALAN LALUAN DI TEPI TAPAK 'LAKESIDE' 5) 1 UNIT STEKEN SUS UTAMA (SSU)</p> <p>DI ATAS LOT 12666 (TANAH PERIBADI TAYLORS UNIVERSITI), JALAN TAYLOR'S, 47500 SUBANG JAYA, SELANGOR, MALAYSIA. UNTUK : TAYLOR'S EDUCATION GROUP</p>		
TANAH TANDARAN PERUBUK TANAH / PEMALU		
<p>Peragat DATO' LOY TEIK NGAN NO.K.P. : 750701-14-0273 TAYLOR'S EDUCATION GROUP (CO. NO. : 182981-H) NO. 1, JALAN 1518, 47500 SUBANG JAYA, SELANGOR, MALAYSIA.</p>		
<p>ARKITEK</p> <div><p>ARKITEK DANIEL ZAM MAZLAN No. Pendaftaran LAM : AIN 686</p></div> <p>"Saya bertanggungjawab dalam memastikan bahawa semua maklumat yang diberikan adalah benar dan tepat. Saya juga bertanggungjawab dalam memastikan bahawa semua maklumat yang diberikan adalah benar dan tepat. Saya juga bertanggungjawab dalam memastikan bahawa semua maklumat yang diberikan adalah benar dan tepat."</p> <div><p>ARKITEK DANIEL ZAM MAZLAN No. Pendaftaran LAM : AIN 686</p></div>		
TAKSI LUKSIAN		
RIGHT ELEVATION		
Scale : 1:250	Date : OCTOBER 2016	
Drawn by : DANIEL M	Checked by : T.K.J	
NO. LUKSIAN PNA121 / SS / JPIF / 045	FINISH 0	
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SECTION C - C

SCALE 1 : 150



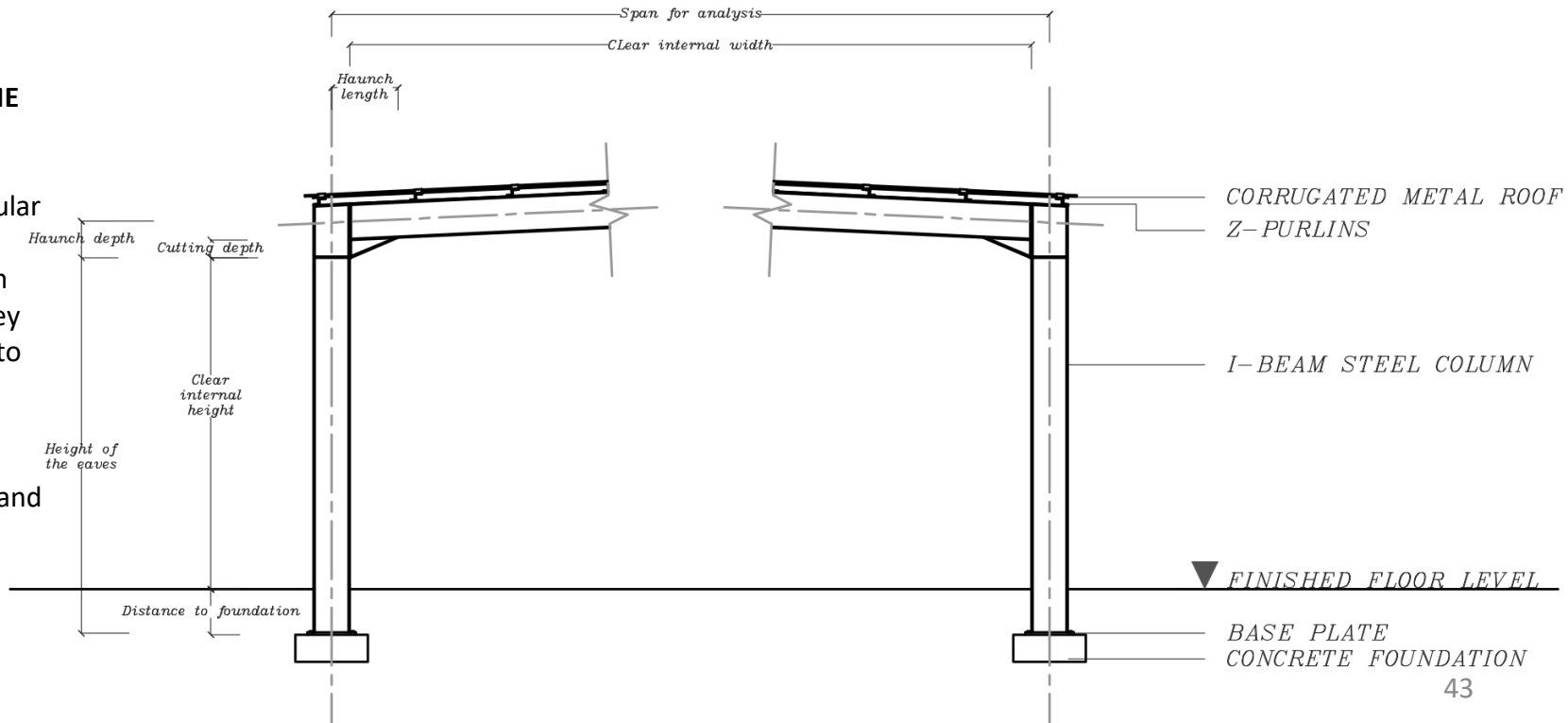
COPY PENGANTARAN JAWABAN:		NO SIRE
COP KELLUSANTANGKANG (MALLS)		
<p>TAKSI PROJEK</p> <p>CADANGAN PEMBANGUNAN ZON LETAK KERETA YANG DIUNDUNGI YANG MENDUNGI :</p> <p>1) 73 UNIT TEMPAT LETAK KERETA DAN 4 UNIT TEMPAT LETAK KERETA OKU (3 TINGKAT),</p> <p>2) 1 UNIT PABAT PENGURUSAN DAN 1 RUANG PENGAKIL,</p> <p>3) 1 UNIT GAZERO</p> <p>4) 1 JALAN LALUAN DI TEPI TAPAK 'LAKESIDE'</p> <p>5) 1 UNIT STESN SUS UTAMA (SSU)</p> <p>DI ATAS LOT 12666 (TANAH PERIBADI TAYLORS UNIVERSITI), JALAN TAYLORS, 47500 SUBANG JAYA, SELANGOR, MALAYSIA.</p> <p>UNTUK : TAYLOR'S EDUCATION GROUP</p>		
<p>TANGKAPAN PUBLIK (TANAH) (PAMPAJ)</p> <p>Pengarah DAN LOY TEIK NGIAN TAYLOR'S EDUCATION GROUP NO. K/P: 750701-14-0273 ICD NO: 162881-A9 NO. 1, JALAN SISUS, 47500 SUBANG JAYA, SELANGOR, MALAYSIA.</p>		
<p>ARKITEK</p> <p></p> <p>Arkitek DANIEL ZAIN MAZLAN No. Pendaftaran LAM: A/N 006</p> <p>"Saya menyetujui bahawa semua data dalam pelan-pelan ini adalah memuatkan informasi teknikal yang tidak boleh digunakan untuk tujuan komersial atau untuk tujuan lain yang tidak berkaitan dengan projek ini."</p>		
<p>TAKSI LUKSANA</p> <p>SECTION C - C</p> <p>Scale : 1:150 Drawn by : DANIEL M. NO LUKSANA : PNA121/S /JP / 045</p> <p>Date : OCTOBER 2016 Checked by : T.K.J. FIRMAN : 0</p>		
<p>"THIS DRAWING IS COPYRIGHT. CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY IF MEASURED DIMENSIONS ARE TO BE USED FROM THIS DRAWING. CONTRACTORS MUST BE RESPONSIBLE TO THE ARCHITECT FOR ANY DISCREPANCIES."</p>		

5.0 CIVIL AND STRUCTURAL ENGINEERING - ROOF STRUCTURE

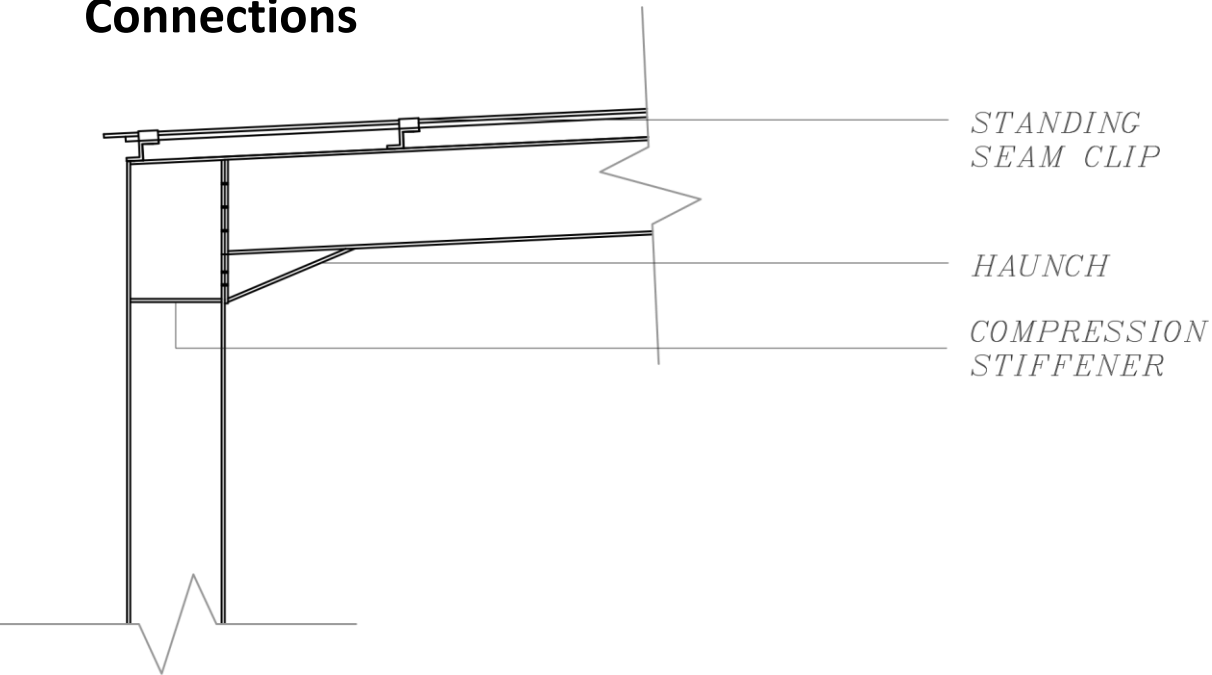


PORTAL FRAME DETAILS

The most popular choice of structural form for single storey buildings due to its structural efficiency and ease of fabrication and erection.

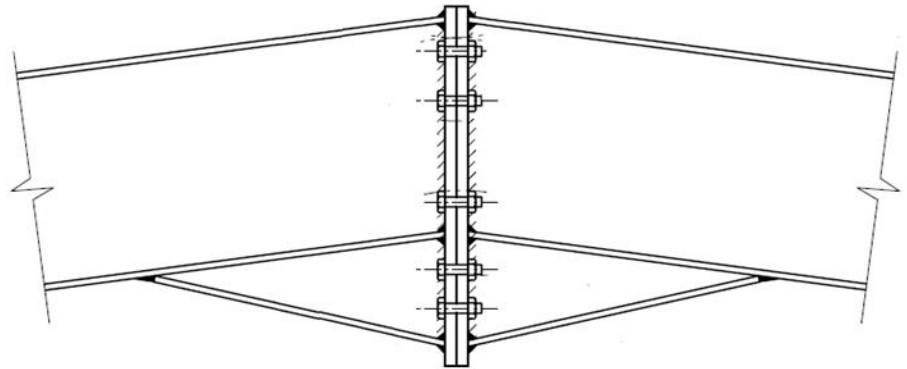


Connections

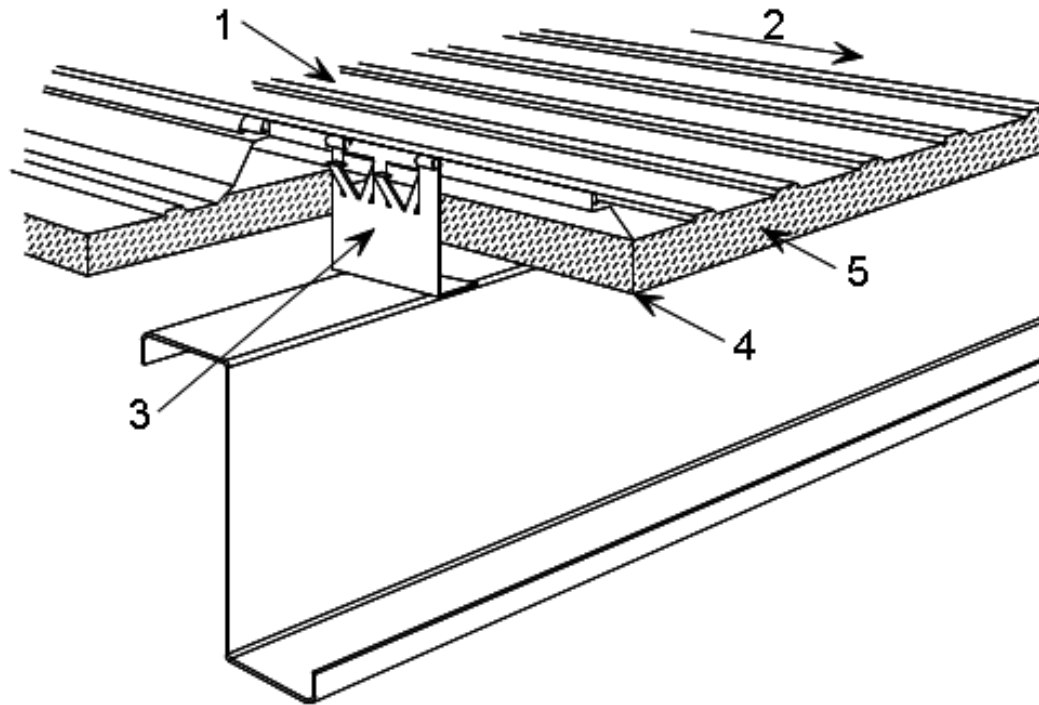


A single bay portal frame has three major connections which comprise of the **eaves, the apex and the column base**.

For the eaves, the construction uses the typical bolted connections to bind the beams with the roof beams as shown in the figure beside. The apex connections are designed in the same manner as well.



Connection detail of apex



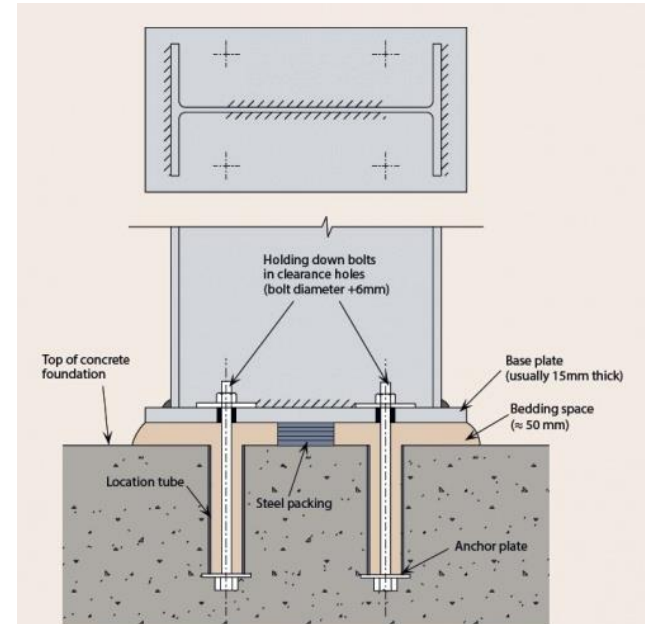
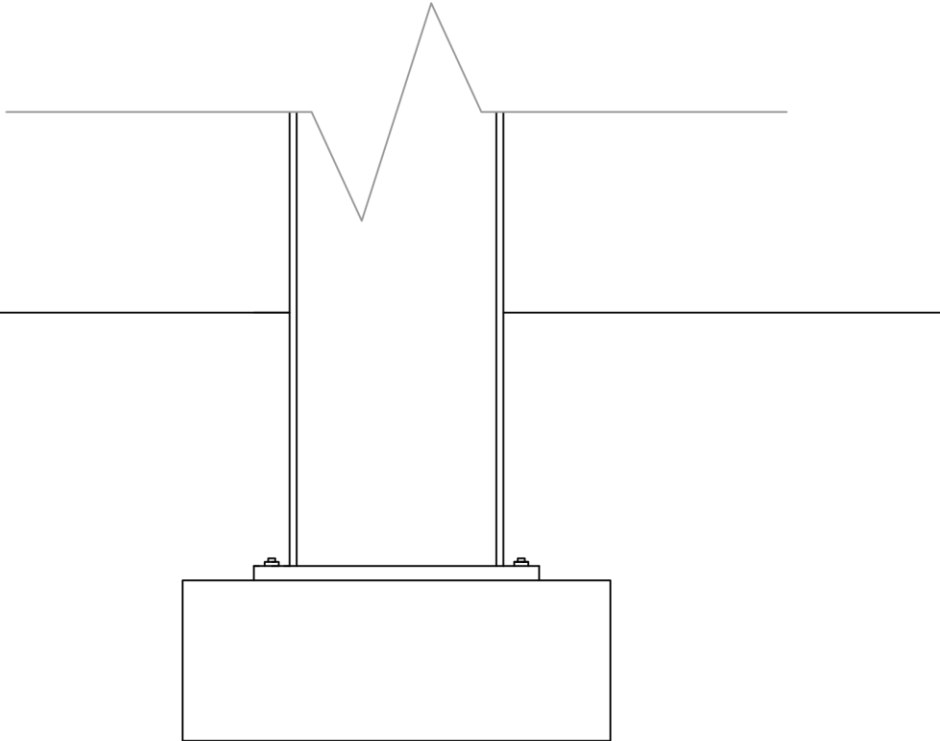
- 1 Outer sheeting
- 2 Slope
- 3 Standing seam clip

- 4 Inner sheeting
- 5 Insulation

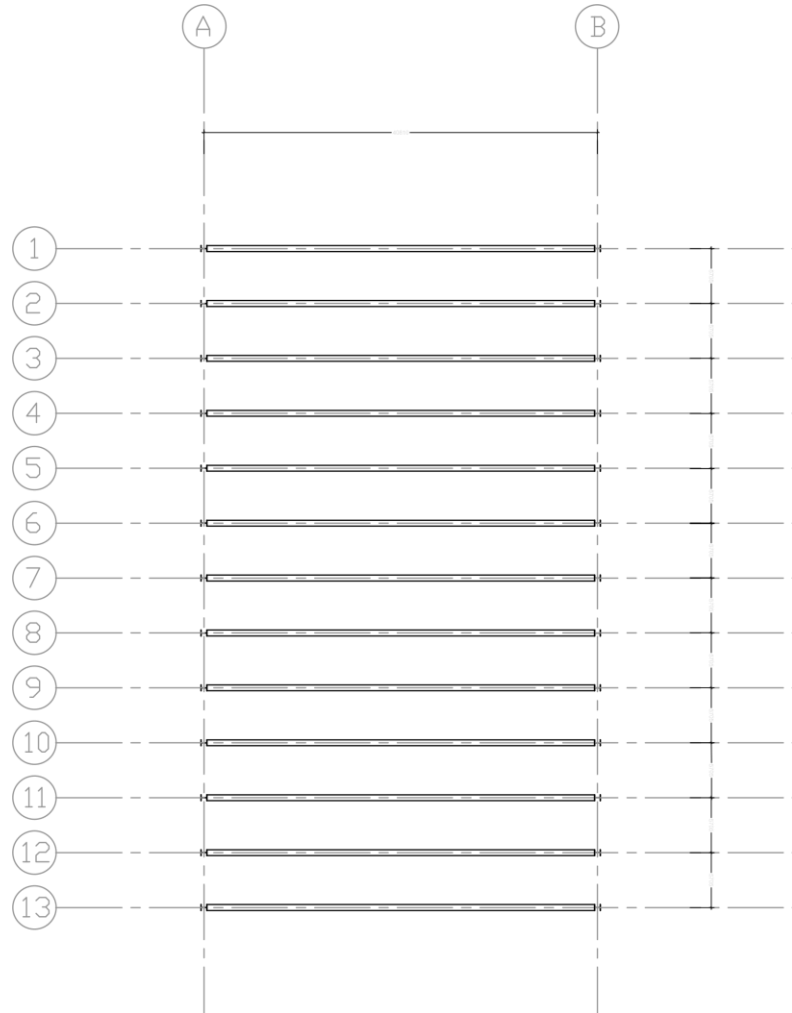
Z-PURLINS

The portal frame uses a proprietary cladding support system, together with fittings, fasteners and other components.

The I-beams act as support and are fastened to the base plate which are connected to the concrete foundation and covered by the ground to form the ground floor level.



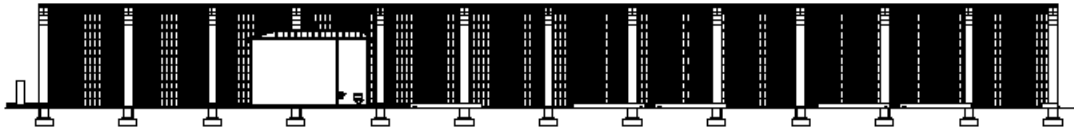
Foundation connection detail



BEAM AND COLUMN SCHEDULE

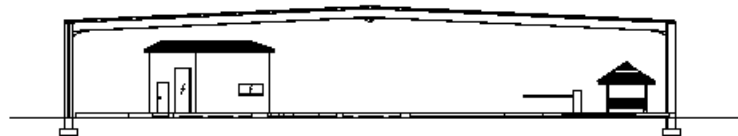


The I-beams act as support and are fastened to the base plate which are connected to the concrete foundation and covered by the ground to form the ground floor level.



SECTION A-A

SCALE 1 : 300

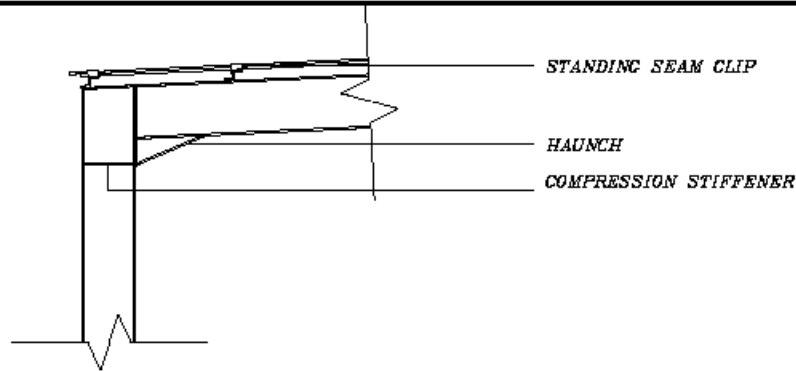


SECTION B-B

SCALE 1:300

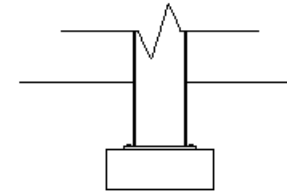
[illegible]

5.0 CIVIL AND STRUCTURAL ENGINEERING - DETAIL DRAWINGS



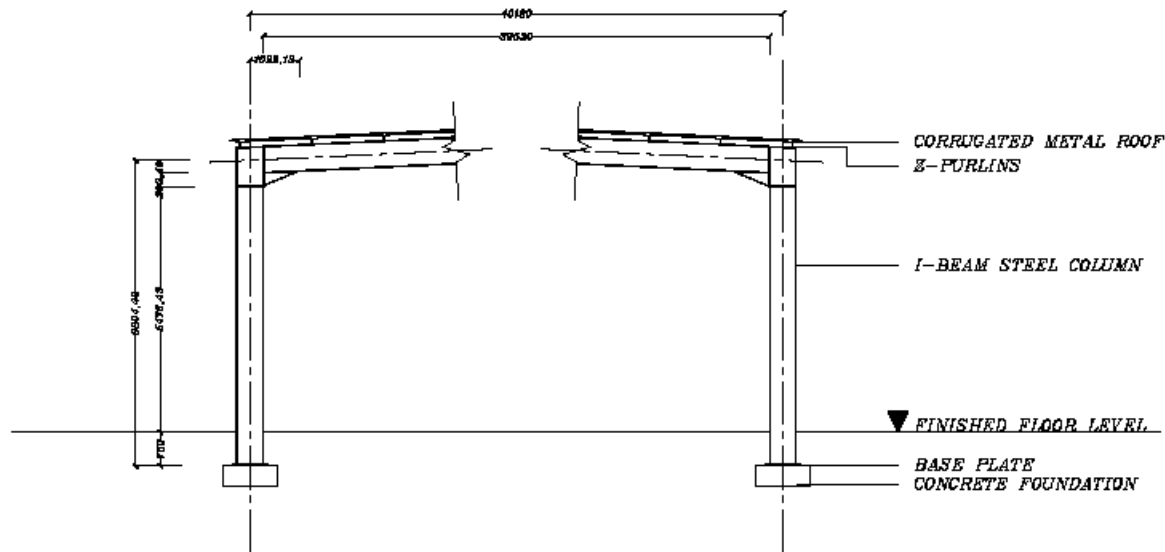
EAVES CONNECTION DETAIL

SCALE 1:50



FOUNDATION DETAIL

SCALE 1:50



PORTAL FRAME DETAIL

SCALE 1:100

CONSTRUCTION DRAWING

NO. 001

NO. 001

NO. 001

NO. 001

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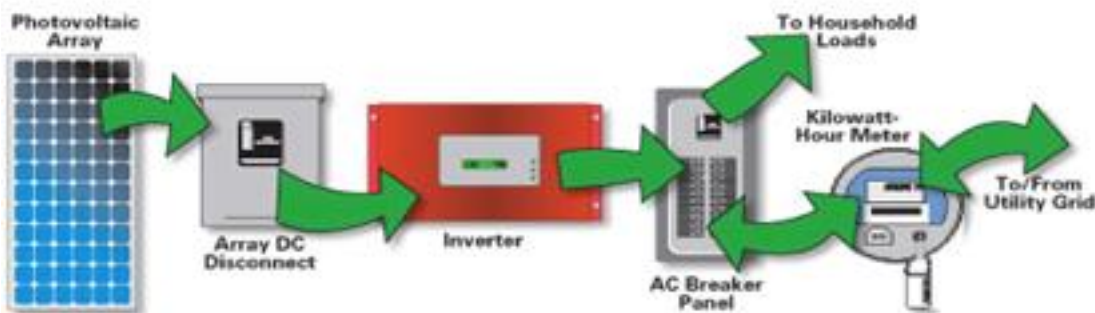
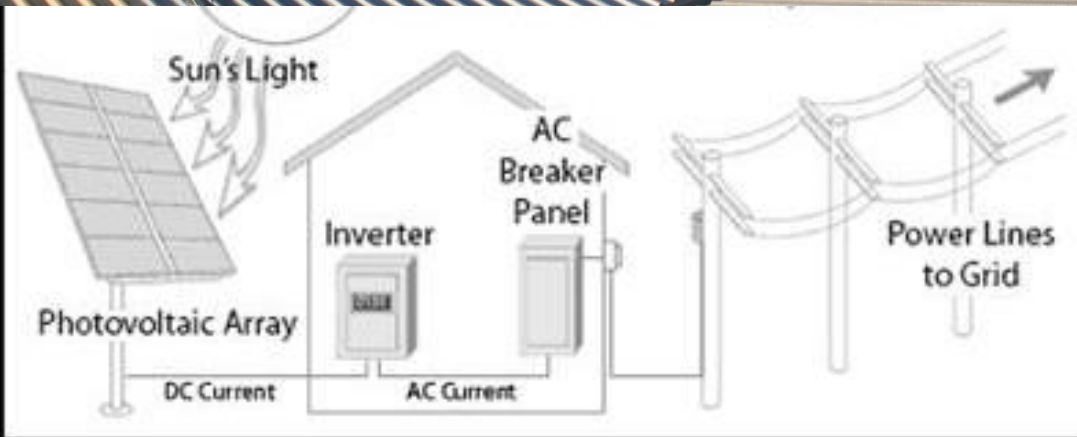
NO. 001

NO. 001

NO. 001

NO. 001

Lighting fixture			
Type of fixture	LED tube light	LED floor light	LED ceiling mounted light
Wattage	18 Watts	4 Watts	24 Watts
Lumens	1700-1800 lm	300-400 lm	2000 lm
CRI	> 80	> 80	> 80
Colour temperature	Warm white (2800-3300K)	Warm white (2800-3300K)	Daylight white (6000K)
Life span	> 30,000 hours	> 30,000 hours	50,000 hours
Location	Carpark and management office	Landscaping	Toilet in management office
Advantage	<ul style="list-style-type: none"> • Low power consumption • High efficiency • High light diffusion 	<ul style="list-style-type: none"> • Low power consumption • Waterproof light body with stainless steel material • High luminance efficiency 	<ul style="list-style-type: none"> • Low maintenance and durable • Energy efficient • Anti-glare

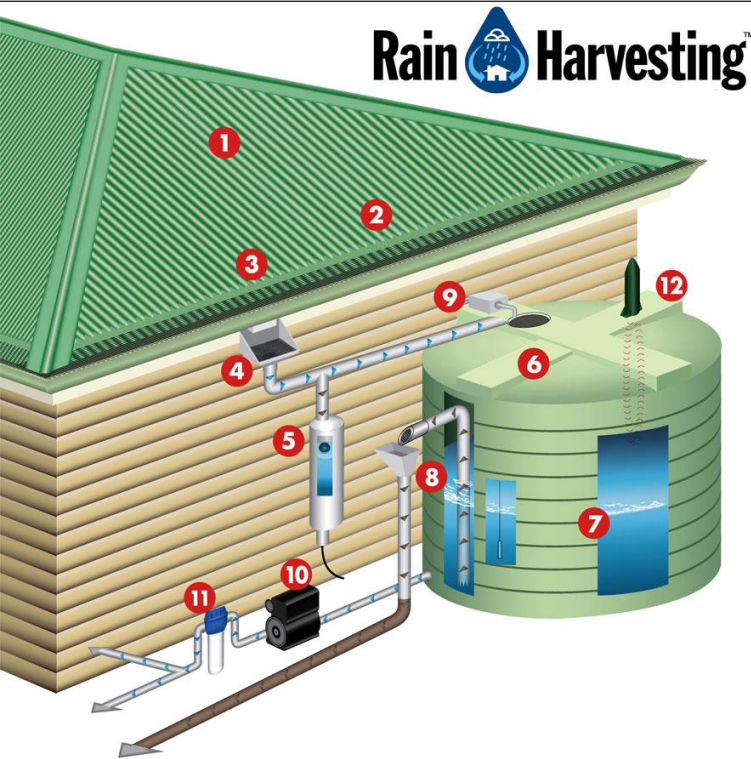


Grid-Connected Photovoltaic System

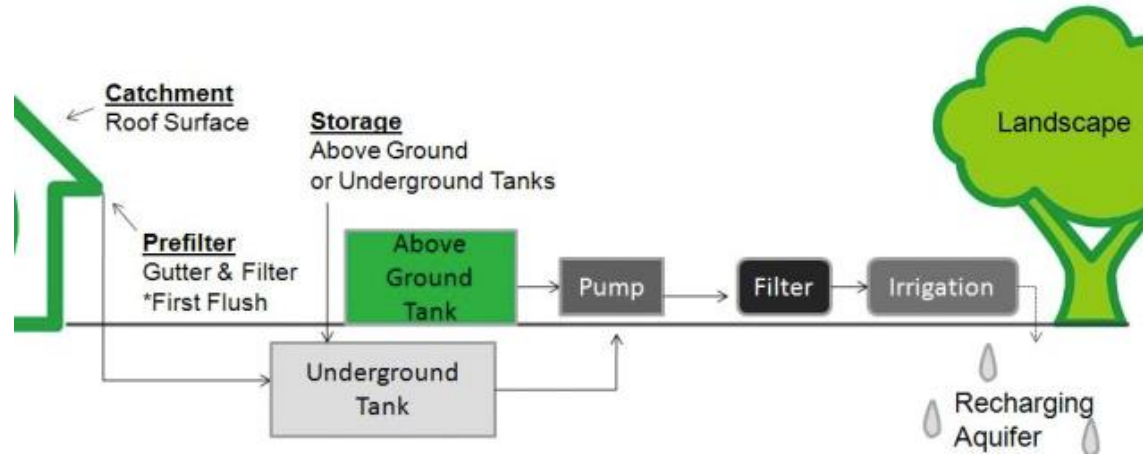
A 'Grid Connected Photovoltaic system is an electricity generating solar powered system that is connected to and feeds electricity back directly to a local utility company which provides electricity to consumers (in this case, TNB).

A grid-connected PV system has an advantage over off-grid PV system, in that excess electricity that is generated can be sold back to the local utility company.

The electricity generated by the solar panels are converted from Direct Current (DC) into Alternative Current (AC) to be able to be used in appliances and supplied to the Grid. An electric meter is installed to keep track of the electricity supplied to the Grid.



1. **Roof surface** – collect rainwater
2. **Gutter mesh** – prevent blockage
3. **Gutter outlets** – prevent obstruction of water flow
4. **Rain heads** – deflect leaves, debris, and mosquitoes
5. **First flush diverter** – prevent contaminated rainwater from entering the tank
6. **Tank screen** – prevent mosquitoes and pests
7. **Water tank** – store water
8. **Tank overflow outlets** – prevent stormwater backflow
9. **Auto-fill** – automatically fill the tank when water is insufficient
10. **Pump system** – distribute water to the building
11. **Rainwater filter** – reduce residual sediment, colour, and odour
12. **Water level indicator** – monitor water level and usage



Rainwater harvesting is a system that collects the run-off or rain from a structure in order to store for later use. Rain collects in gutters that channel the water into downspout, and into a tank for storage.

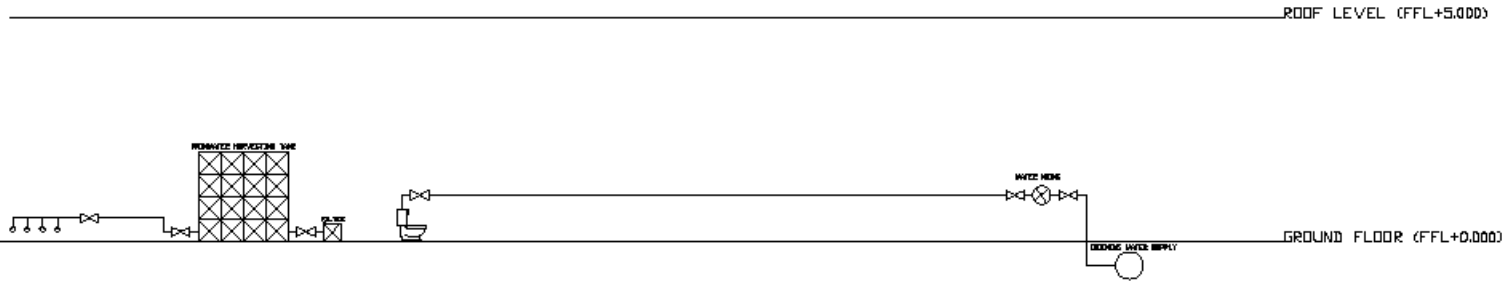
The collected water may be used for irrigation purposes, in relation to the proposed landscape on site; this reduces the demand on the main water supply.

Benefits of rainwater harvesting:

- Relatively clean and free source of water
- Promotes self-sufficiency and water conservation
- Rainwater is better for landscape as it does not contain chlorine
- Serves as a backup source of water during emergencies

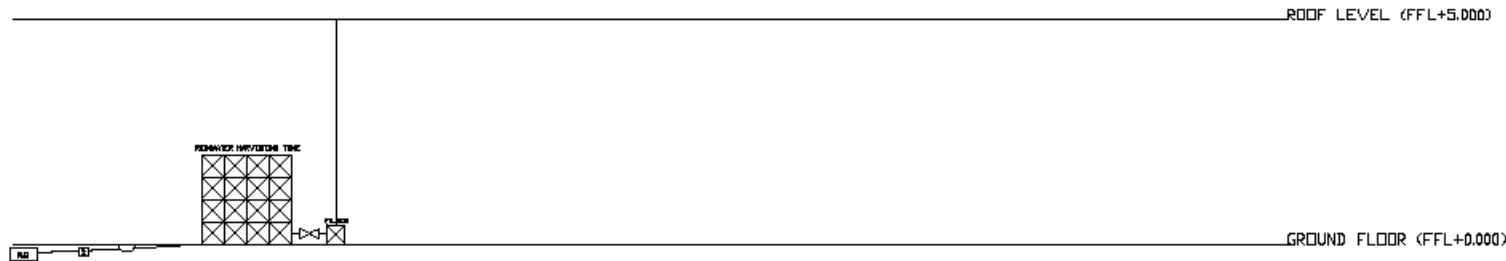
6.0 MECHANICAL AND ELECTRICAL ENGINEERING

- RAINWATER HARVESTING



WATER SUPPLY & IRRIGATION

SCALE 1 : 100



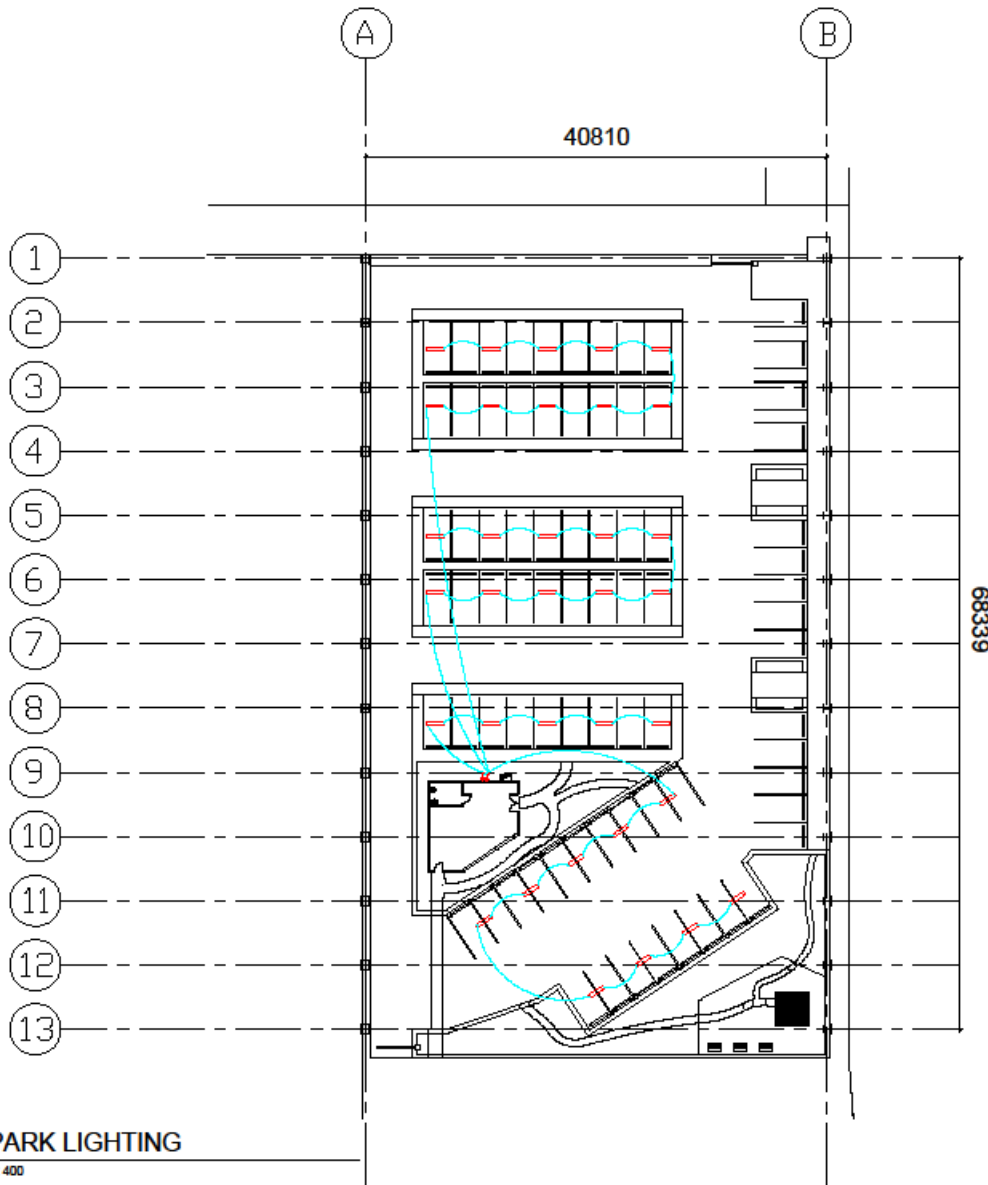
DRAINAGE & RAINWATER HARVESTING

SCALE 1 : 100

[illegible]




6.0 MECHANICAL AND ELECTRICAL ENGINEERING

- LIGHTING DIAGRAM



CARPARK LIGHTING

SCALE 1 : 400

 DISTRIBUTION BOARD
 18W LED TUBE
 2 GANG SWITCH

CONSTRUCTION DRAWING

COP PENGANTARAN JABATAN:

CDP 0011 IDENTIFICATION WALL 11 :

PERANGI PERONTAL PEMERANGKUAN :

<p>TRUCK PRICE</p>

CADANGAN PEMBANGUNAN SATU PERPUSTAKAAN AWAM EMPIK
TINGKAT

DI ATAS LOT 78, 79 & 80, JALAN HAI SALLEH, SENTUL,
51100 KUALA LUMPUR, WILAYAH PERSEKUTUAN KUALA LUMPUR,
MALAYSIA

UNTUK : TAYLOR'S EDUCATION GROUP

TANGKALANDEAN PIRATEK TANGKALAN / PIRANJU :

PROQUEST

DATO LOY TEH NGAN NO.KP : 70174-16-029
TAYLORS EDUCATION GROUP (CO. NO. : 18281-H)
NO. 1, JALAN SRISEI, 47000 SUBANG JAYA, SELANGOR, MALAYSIA.

ANSWERS



*Dapat menggunakan bahasa dalam bentuk lisan atau tulisan yang baik dan benar dalam berkomunikasi.



Ar. Daniel Zain Muzdan
ARKITEK PROFESIONAL
No Pendaftaran IAM : AIN 422

<p>  TUTORME </p>	<p>  TUTORME </p>
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CARPARK LIGHTING

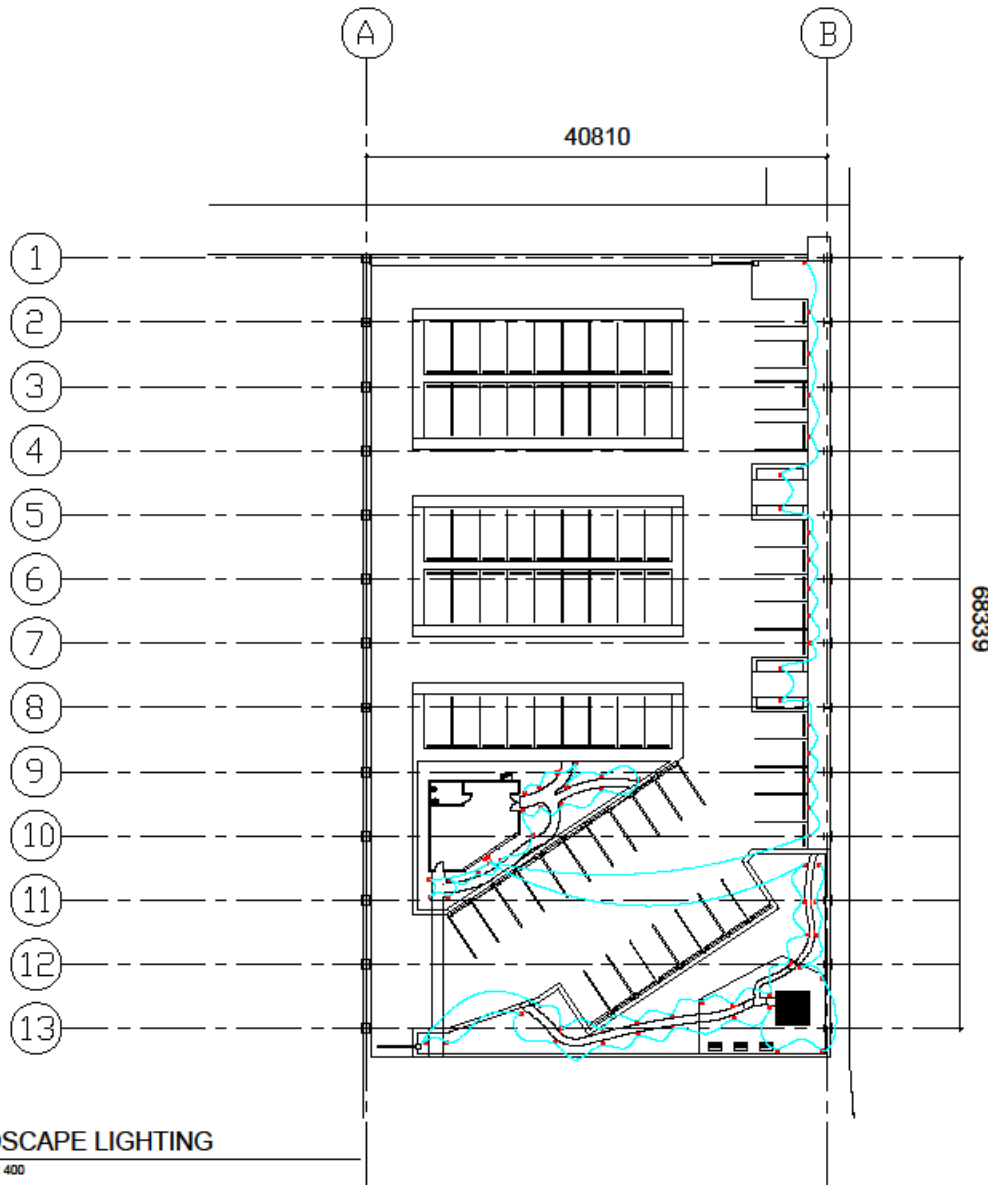
Jenis : 1-23	Waktu : 02/07/2019
Tempat : PTM	Masuk : 1200

NO. LAYAKKAN	PINDAAN
21	0

THIS DRAWING IS COPYRIGHT. CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FOUNDED DIMENSIONS ARE TO BE WORKED FROM. DISCREPANCIES MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT BEFORE PROCEEDING.

6.0 MECHANICAL AND ELECTRICAL ENGINEERING

- LIGHTING DIAGRAM



LANDSCAPE LIGHTING

SCALE 1 : 400

 DISTRIBUTION BOARD

 1 GANG SWITCH

 2 GANG SWITCH

3rd FLOOR LIGHT

CONSTRUCTION DRAWING

COP PENGANTARAN JABATAN:

COP KOLLEKTORATUNGKUN MALAYSIA :

PELAKU PEKERJAAN PEMERINTAH :

<p>TRUCK PRICE</p>

CADANGAN PEMBANGUNAN SATU PERPUSTAKAAN AWAM EMPIK
TINGKAT

DI ATAS LOT 78, 79 & 80, JALAN HAJI SALLEH, SENTUL,
51100 KUALA LUMPUR, WILAYAH PERSEKUTUAN KUALA LUMPUR,
MALAYSIA

UNTUK : TAYLOR'S EDUCATION GROUP

TANGKALAN DAN PANGKALAN TANPA PANGKALAN :

Programs

TEL: 03-7330 1000 FAX: 03-7330 1001
 TRYPLORE EDUCATION GROUP (CO. NO. : 102201-H)
 NO. 1, JALAN BERSAMA, 47000 SELANGOR JAYA, SELANGOR, MALAYSIA.

ANSWER



*Tipe masyarakat/latihan tidak dapat lebih dipahami di dalam masyarakat Indonesia Indonesia
dalam Undang-Undang Kesehatan (Undang-Undang Kesehatan) 1992 dan
saya telah melakukan penelitian yang sangat mendalam



Ar. Daniel Zain Muzakin
ARKITEK PROFESIONAL
No Pendaftaran IAM : APN 422

<p> </p>	<p> </p>
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LANDSCAPE LIGHTING

Issue : 1-2017 Validé : 02/06/2016

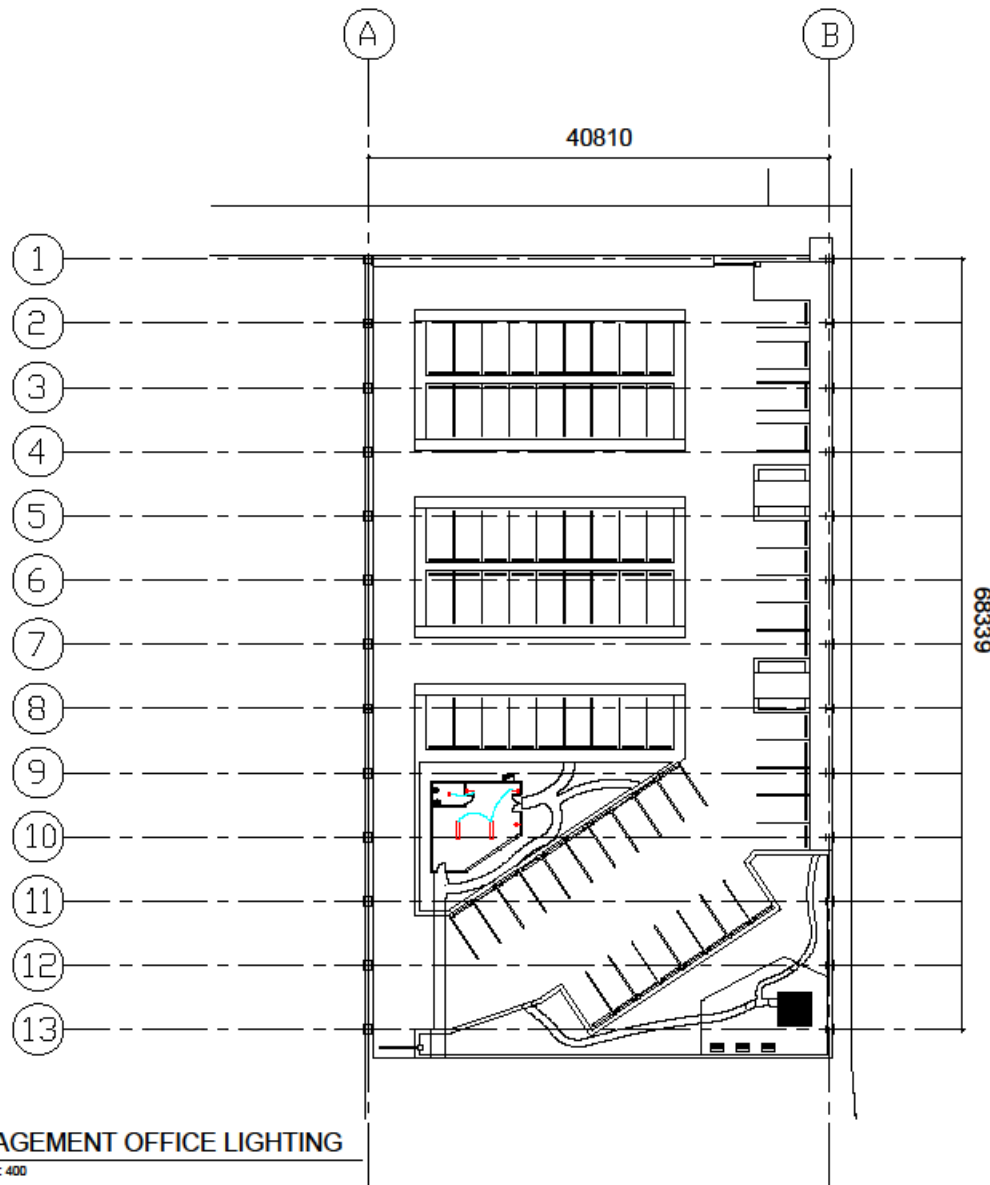
Model :	PTM	Material :	Steel
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NO. LARJIAN	PRICIAN
22	0

22	0
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THIS DRAWING IS COPYRIGHT. CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY PICTURED DIMENSIONS ARE TO BE

6.0 MECHANICAL AND ELECTRICAL ENGINEERING - LIGHTING DIAGRAM



MANAGEMENT OFFICE LIGHTING

SCALE 1:400

CONSTRUCTION DRAWING

CDP PROJEK/TAJUK: _____	NO. DOK: _____
-------------------------	----------------

CDP KUALA LUMPUR/TAJUK: _____

PROJEK/TAJUK: _____

TAJUK PROJEK:
CAKUPAN PENGANGKURAN SATU PERSTASIAN KAWAT EMERJENSI
TINGKAT
DI KAWAT LOT 7/1, 7/2 & 7/3, KELUARAN HAI SALLEH, SENTUL,
51200 KUALA LUMPUR, WILAYAH PERSEKUTUAN KUALA LUMPUR,
MALAYSIA

UNTUK: TAYLOR'S EDUCATION GROUP

REVISI/REVISI: _____

Revisi
DITOLONG TOLONG
REVISI/REVISI: _____

REVISI:
DITOLONG TOLONG
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REVISI/REVISI: _____

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DITOLONG TOLONG
REVISI/REVISI: _____

Contracts

Agreement between owner and builder

Agreement For Construction Of Building Between The Owners And The Contractors On Turnkey Basis

THIS AGREEMENT made at 2016, between Ms. Sateerah of the Taylors Development Sdn. Bhd., a company incorporated under the Companies Act, 1956 and having its registered office at DZ+ Inc.

WHEREAS the employer is desirous of constructing Parking Lot and its vacant land bearing being at Taylors Lakeside, the contractors have offered to construct the same on a 'turnkey basis' and also to prepare the site layout plans, preliminary sketch designs, architectural drawings, structural drawings, service drawings and all other detailed plans and drawings as may be necessary for the proper construction and completion of the said works and also obtain necessary permissions from the DBKL and other local authorities for executing and completing the said works as hereinafter specified upon and subject to the terms and conditions set forth herein and the conditions set forth in the special conditions hereto annexed and marked as Annexure 1 (all of which are collectively hereinafter referred to as "the said works") at the rate of RM507 per sq. m. of the built up area of the buildings.

AND WHEREAS The employer has agreed to appoint the contractors for the said works; and

AND WHEREAS the contractors have requested the employer to execute these presents which he has agreed to do so.

NOW THIS AGREEMENT WITNESSETH AS FOLLOWS:

1. In consideration of the said contract amount to be paid at the times and in the manner set forth in the Schedule of Payments hereto annexed, the contractors shall on and subject to the said conditions, execute and complete the said works more particularly described in Schedule 1 annexed hereto and shown on the said drawings, strictly in accordance with the general specifications annexed hereto and marked as Annexure III.
2. The employer shall pay the contractors the said contract amount or such other sum as shall become payable at the times and in the manner specified in Annexure II.
3. For the purposes of this contract, "built up area" means the total a covered area of the building at floor level out-to-out measurement of wall surface (architectural projection excepted) and shall be inclusive of staircase and balconies.
4. The contractors shall prepare layout plans and general building plans in consultation with the employer and get the same approved by DBKL.
5. It is hereby agreed that the contract amount shall be inclusive of-

Agreement of Parking Lease

DK Group, as Lessor, does hereby agree to let to DZ+ Inc. as Lessee, a parking space located at DK Senza and DK Latour. The following terms and conditions shall apply to this Parking Space Lease Agreement ("Agreement"):

Terms and Conditions:

1. **Items Left in Vehicle.** Lessor shall not be responsible for damage or loss to possessions or items left in any vehicles.
2. **Damage to Vehicle.** Lessor shall not be responsible for damage to any vehicles, whether or not such damage is caused by other vehicle(s) or person(s) in the parking lot and surrounding area.
3. **Parking Lot Attendants.** Lessor shall not provide parking lot attendants. In the event that Lessor provides such attendants, any use of such attendant by Lessee to park or drive Lessee's vehicle shall be at Lessee's request, direction and sole risk of any resulting loss and Lessee shall indemnify Lessor for any loss resulting from such use.
4. **Payments by Lessee.** Lessee agrees to pay 10,000 per month for the lease of the aforementioned parking space. Lessee is to make such leasehold payment -(to Lessor or Lessor's Agent) in person (or by mail) at Block E5, Jalan Taylor's, 47500 Subang Jaya, Selangor. Payments shall be made in advance by Lessee on the first of each month.
5. **Receipts by Lessor.** Lessor agrees to provide a receipt to Lessee for each payment received. Such receipt shall show the amount paid and the leased parking space.
6. **Termination.** Either party may terminate this Agreement by providing 30 days written notice to the other party. Any such notice shall be directed to a party at the party's address as listed below in this Agreement.
7. **Damages and Loss of Equipment.** Lessee is responsible for any and all damages beyond normal wear and tear to the parking facilities. Lessee is also to be held responsible for replacement of any lost, stolen, damaged, or misplaced remote garage door openers or other parking facility related equipment lent to the Lessee by the Lessor.

EXECUTED AND AGREED by the parties hereto, this the 28th of October, 2016.

DK Senza & Latour Building Manager, DK Group

Mr. Stephen Wong

DZ+ Inc. Project Manager

Sean Wee

Procurement of Machinery and Equipment

Excavator



Loader



Dumper



Crane



Mortar Mixer
(FireProofing)



Procurement of Materials

Piping

(Water, Sewage, Electrical)

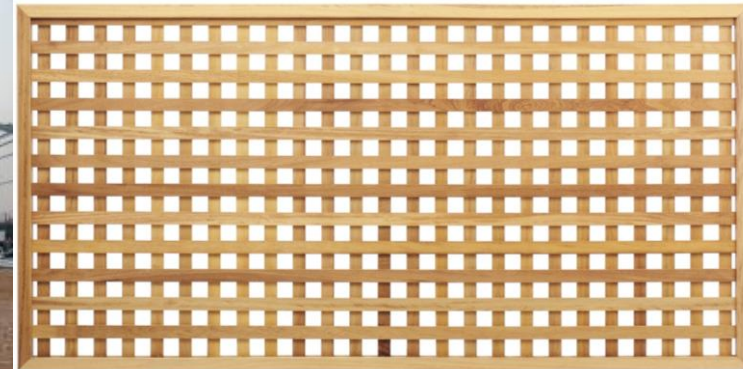


IBS

(Beams, Portal Frames, Slabs)



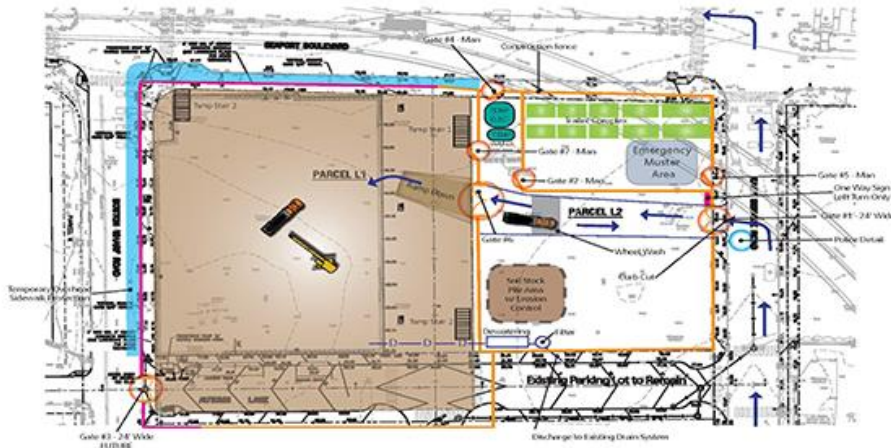
Lattice Wall



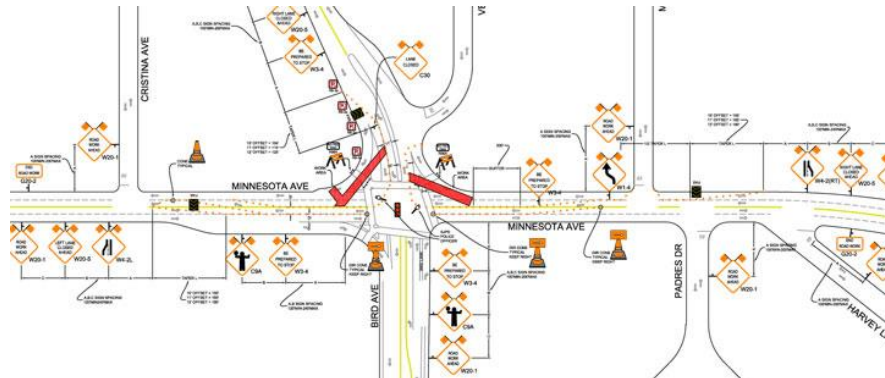
Procure construction and finishing materials that are stated by architect, landscape architect, Project Manager, M&E and C&S Engineers.

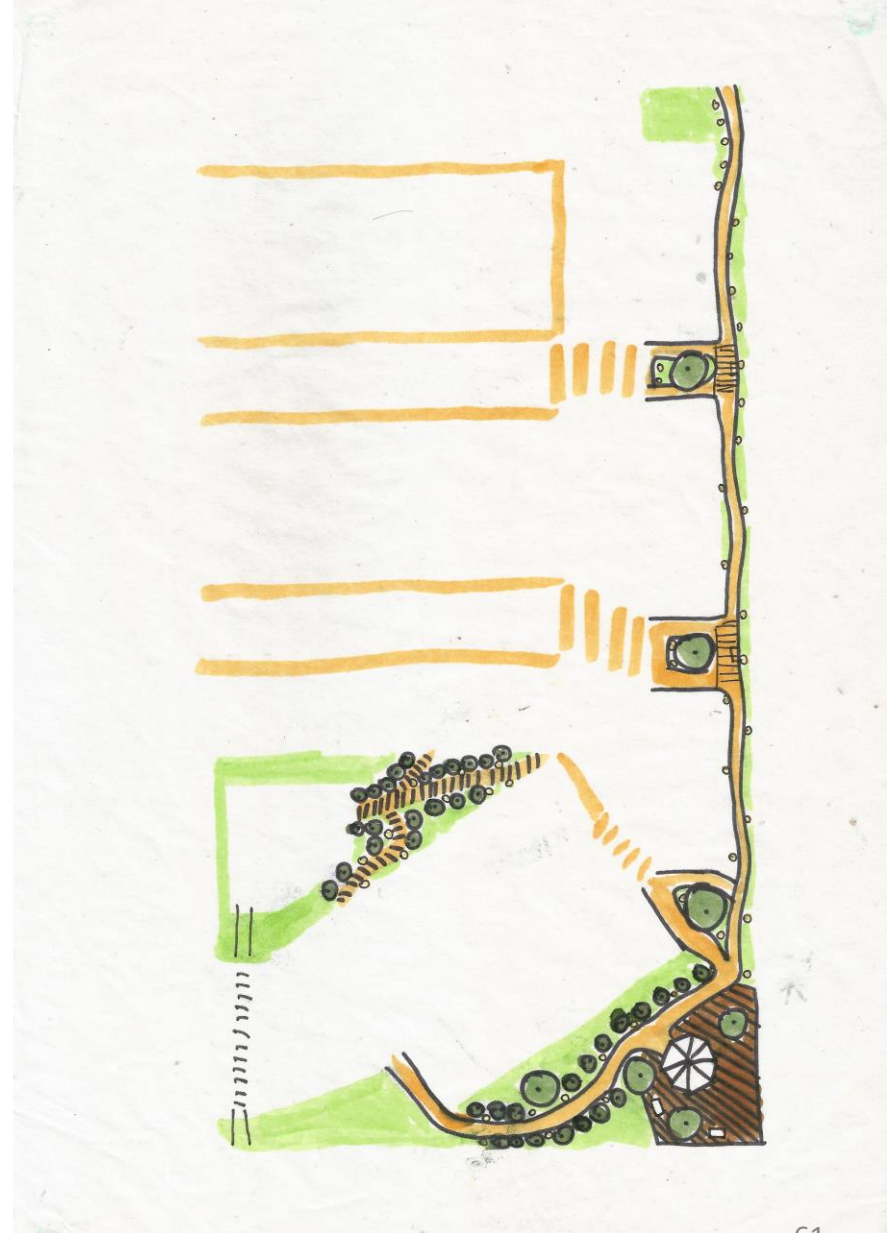
Site Analysis, Inspection, & Preparation

Logistics Construction Plan

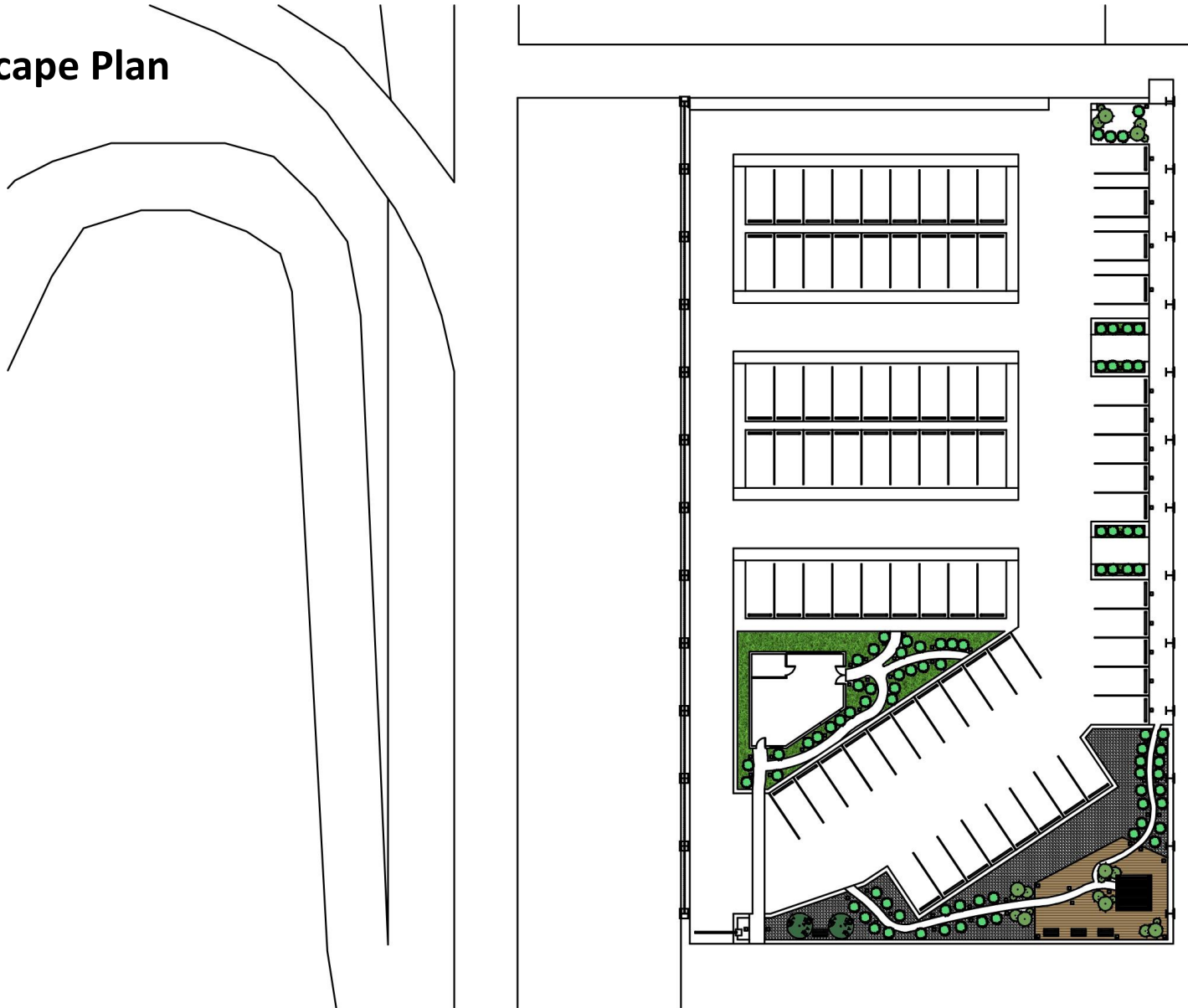


Traffic Control Plan





Landscape Plan



Plant Species Proposal



Acalypha Siamensis

- Grows up to 1m in height
- Evergreen
- Low maintenance compared to flowering shrubs



Bucida Molineti

- Grows up to 3m in height
- Evergreen
- Low maintenance compared to flowering shrubs



Frangipani Tree

- Aesthetically pleasing
- Grows up to 6m in height
- Provides shading



Zoysia grass

- Low maintenance
- Easy to manage

Landscape Maintenance Proposal

PROPOSED MAINTENANCE WORK					
ITEM	DESCRIPTION			ITEM	DESCRIPTION
Watering	The watering process is to be carried twice a day, in the morning and evening. This process is to be carried out consistently until the plants are well established. Water applied at all times shall be sufficient to penetrate the soil to minimum saturation of the soil. Water shall be applied using the water tanker so as not to cause compaction or washout of the soil or loosening of plants. The contractor shall immediately rectify in case of any damage. Minimum of twice per day (manually).			Soil Aeration	To improve the tilth of the soil and to provide a balanced supply of water and air to the plant roots. Soil aeration with addition of organic matter will help greatly in maintaining a satisfactory physical in the soil by giving free passage for air. Soil aeration to be practiced once every 2 to 3 months.
				Loosening	To reduce the chocking of the tree trunk and branches to allow full growth as and when necessary. Inspection to be done once a year.
Fertilizing	Combination of humus based fertilizer, slow release fertilizer and compound fertilizers to be applied to plants. Compost is to be distributed within the landscape area at every 2 month interval. Fertilizing is to be applied within six months period for the trees and once a month for shrubs and turf.			Top dressing	Prior to top dressing, cut grass and remove clippings. Incorporate fertilizer on the top dressing, material and mix evenly. Spread top dressing to maximum depth of 10mm while filling in depressions. Work top dressing into grass evenly and water in thoroughly.
Pest and disease control	Inspect all plants material and locate any disease or insect pest infestations once every month or when necessary. Upon the discovery of any disease or pest infestation, act promptly. The preventive works is to be carried out every 3 months and any works which involve the use of chemicals, the contractor is to take precautionary methods by wearing the required safety equipments. The type of chemical for pesticide:- Example:- Thiodan>2850ml/1000l water Folia Selama> 8:8:8 Daconil>625gm/1000l water Fungicide and pesticide application will follow as programmed (once a month) using the lowest dosage recommended by the manufacturer. All pest and disease control should follow "Akta Racun Makhluk Perusak 1974"			Tree replacement	The dead or defect plants should be replaced immediately.
				Erosion control	The erosion control is using a few methods which are agreeable to the structural engineer or the landscape architect. This is normally done before the planting works is carried out.
				Cos implication	The cost implication will be focused to the implementation stage. For example, the implication cost for the maintenance stage will be less as the earthmound is used to replace the shrubs.
				Conclusion	This report encloses the design proposal and the scope of works which involves the planting works until the maintenance stage for a period of 2 years.
Trimming, Mulching, Pruning, Weeding and Debris Cleaning	The mulching process for the trees is to be carried out every 6 months and every 2 months for shrubs. All plants are to be in a weed-free condition once a month. For trees, this process is carried every 6 months. For shrubs, every 2 months. For turf grass, consistent maintenance is required. The clearing of works shall be carried out consistently to bring out the planting output like clearing the dried leaves etc. Re-mulching This process is carried out once the planting works is completed. Mulching is applied using coconut husk etc. To be practiced selectivele on required plants and area. Weed and large broken branches are to be removed from the landscape area manually. Landscape area needs to be kept tidy and free from debris and maintenance waste.				

INITIAL COST ESTIMATION

Index	Description	Unit	Amount (RM)
1	Site Preparation and Earthwork	SUM	12,000
2	Foundation	SUM	4,800
3	Roofing	SUM	320,000
4	Flooring	SUM	18,000
5	Superstructure	SUM	70,000
6	Substructure	SUM	180,000
7	Labour Cost	SUM	90,000
8	Electrical Systems	SUM	260,000
9	Landscape	SUM	300,000
10	Machineries and Equipment	SUM	15,000
11	Other Services	SUM	7,578
TOTAL COST			1,277,378

RATE OF RETURN ON INVESTMENTS (ROI)

DK GROUP CAR PARK LEASE

Index	Description	Amount
1	Total Capacity of Lease Car Park in DK Senza and DK Latour	200 PAX
2	Amount Charged per Entry	RM3
3	Estimated Duration of Rented Temporary Car park	6 Months
4	Total Net Profit per Months	RM18,000
5	Estimated Net Profit after 6 Months	RM108,000
6	Total Cost of Lease Car Park per Month	RM10,000
7	Estimated Total Cost of Lease Car Park for 6 Months	RM60,000
8	Overall Revenue	RM48,000

ROI of Car Park Shelter

Index	Description	Amount
1	Total Capacity of Car Park Provided	95 PAX
2	Amount Charged per Entry	RM3
3	Net Profit per Month	RM8,550
4	Total Net Profit per Year	RM102,600
5	Total Net Profit per Year + Overall Revenue	RM150,600
6	Overall Construction Cost	RM1,054,861
TOTAL ROI		7 Years

Thus, the management will be able to gain profit in around 7 years.

Index	Description	Unit	Qty	Rate	Amount (RM)
1 Lowest Floor Slab; 150mm thick					
	Site Clearing	m ²	2,800	6	16,800
	Crusher Run 100mm thick	m ²	2,800	12	33,600
	Concrete Floor	m ³	432	220	95,040
	BRC Mesh Reinforcements x2 layers	m ²	5,600	15	84,000
	Damp Proofing Membrane x1 layer	m ²	2,800	4	11,200
	Floor Hardening and Power Floating	m ²	2,800	8	22,400
2 UC Column (30 nrs)					
	Pad Footing (600mm x 600mm x300mm)	m ³	4	1,200	4,800
	UC Column	kg	12,000	5.5	66,000
	Accessories to Steel Works (10%)	kg	1,200	5.5	6,600
3 Steel Roof Structure					
	Steel Roof Beam (including Beam)	kg	40,000	5.5	220,000
	Accessories to Steel Works (5%)	kg	2,000	5.5	11,000
4 Roof Covering					
	Corrugated Metal Roof Coverings (3% inclination)	m ²	2,884	45	129,780
	Polycarbonate Semi-Translucent Sheet	m ²	289	75	21,675

5 External Wall Lattice

External Wall Lattice (Timber)	m ²	442	50	22,100
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6 Gate

Boom Gate	nr	2	1,500	3,000
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7 Management Office (8mx8m)

Allow Management Office (Builder's work)	lump sum	1	13,778	13,778
Mechanical	lump sum	1	3,444	3,444
Electrical	lump sum	1	2,756	2,756
Plumbing	lump sum	1	1,378	1,378

8 Electrical Sytems for House-In Carpark Building

Electrical Systems	lump sum	1	100,000	100,000
Solar Panel	nr	15	8,000	120,000

9 Landscaping

Landscape	lump sum	1	150	2135
Grass	m ²	25	5	125
White Gravel	kg	50	5	250
Gazebo	lump sum	1	3,000	3,000

10 Temporary Car Park Rental

Temporary Car Park at DK Senza	per month	6	10,000	60,000
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TOTAL CONSTRUCTION COST				1,054,861
TOTAL CONSULTANT COST				158,229
CONTINGENCIES COST				316,458
TOTAL COST				1,529,548

10.0 REFERENCES

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- "Portal Frames waste treatment" November 2013. Accessed 12th October 2016, from <http://www.newsteelconstruction.com/wp/wp-content/uploads/digi/1311NSCNov13/index.html#/30/>
- "Civic Space Shade Canopies" (No Date). Accessed 11th October 2016, from <http://www.architekton.com/community/68/>

11.0 APPENDIX - ATTENDANCE

Ref: ABC/Job no./15/CCM-1
MINUTES OF CLIENT CONSULTANT MEETING NO.1



RE: PROPOSED SITE AT NO.1, JALAN TAYLORS, 47500 SUBANG JAYA, SELANGOR D.E. FOR TAYLORS EDUCATION GROUP.

Venue: E5
Time of Meeting: Commencing at 9.00am

Date of Meeting: 14 September 2016
Closing at 9.40am

ATTENDANCE RECORD AND CONTACT DETAILS – PERSONS PRESENT.

NO	NAME	COMPANY/ POSITION	TELEPHONE	EMAIL	SIGNATURE
1	Ar. Sateerah Hassan	Client	019-3333333	sateerahassanarch@gmail.com	
2	Mr. Sean Wee Yen Xhiong	Project Manager	014-6828608	seanwee94@gmail.com	
3	Ar. Daniel Zain Mazalan	Principal Architect	011-12247583	danielmazalan@gmail.com	
4	LAr. Esther Lim Qiu Qiu	Landscape Architect	016-9131717	estherlqq@hotmail.com	
5	Mr. Ho Tze Hooi	Contractor	012-4555720	colbyho994@gmail.com	
6	Sr. Pua Kai Jing	Quantity Surveyor	012-7741790	pkj200@gmail.com	
7	Ir. Tang Kar Jun	Civil & Structural Engineer	012-3315618	lawlietjun@hotmail.com	
8	Ir. Felicia Tiong Ying Min	Mechanical & Electrical Engineer	016-8586789	feliciationg95@gmail.com	

Ref: ABC/Job no./15/CCM-1
MINUTES OF CLIENT CONSULTANT MEETING NO.1



RE: PROPOSED SITE AT NO.1, JALAN TAYLORS, 47500 SUBANG JAYA, SELANGOR D.E. FOR TAYLORS EDUCATION GROUP.

Venue: E5
Time of Meeting: Commencing at 8:30am

Date of Meeting: 21 September 2016
Closing at 9.150am

ATTENDANCE RECORD AND CONTACT DETAILS – PERSONS PRESENT.

NO	NAME	COMPANY/ POSITION	TELEPHONE	EMAIL	SIGNATURE
1	Ar. Sateerah Hassan	Client	019-3333333	sateerahassanarch@gmail.com	
2	Mr. Sean Wee Yen Xhiong	Project Manager	014-6828608	seanwee94@gmail.com	
3	Ar. Daniel Zain Mazalan	Principal Architect	011-12247583	danielmazalan@gmail.com	
4	LAr. Esther Lim Qiu Qiu	Landscape Architect	016-9131717	estherlqq@hotmail.com	
5	Mr. Ho Tze Hooi	Contractor	012-4555720	colbyho994@gmail.com	
6	Sr. Pua Kai Jing	Quantity Surveyor	012-7741790	pkj200@gmail.com pkj200@gmail.com	
7	Ir. Tang Kar Jun	Civil & Structural Engineer	012-3315618	lawlietjun@hotmail.com	
8	Ir. Felicia Tiong Ying Min	Mechanical & Electrical Engineer	016-8586789	feliciationg95@gmail.com	

11.0 APPENDIX - ATTENDANCE

Ref: ABC/Job no./15/CCM-1
MINUTES OF CLIENT CONSULTANT MEETING NO.1



RE: PROPOSED SITE AT NO.1, JALAN TAYLORS, 47500 SUBANG JAYA, SELANGOR
D.E. FOR TAYLORS EDUCATION GROUP.

Venue: E5
Time of Meeting: Commencing at 11:15am

Date of Meeting: 26 September 2016
Closing at 12:00pm

ATTENDANCE RECORD AND CONTACT DETAILS – PERSONS PRESENT.

NO	NAME	COMPANY/ POSITION	TELEPHONE	EMAIL	SIGNATURE
1	Ar. Sateerah Hassan	Client	019-3333333	sateerahassanarch@gmail.com	
2	Mr. Sean Wee Yen Xhiong	Project Manager	014-6828608	seanwee94@gmail.com	
3	Ar. Daniel Zain Mazalan	Principal Architect	011-12247583	danielmazalan@gmail.com	
4	LAr. Esther Lim Qiu Qiu	Landscape Architect	016-9131717	estherlqq@hotmail.com	
5	Mr. Ho Tze Hooi	Contractor	012-4555720	colbyho994@gmail.com	
6	Sr. Pua Kai Jing	Quantity Surveyor	012-7741790	pkj2001@gmail.com	
7	Ir. Tang Kar Jun	Civil & Structural Engineer	012-3315618	lawlietjun@hotmail.com	
8	Ir. Felicia Tiong Ying Min	Mechanical & Electrical Engineer	016-8586789	feliciationg95@gmail.com	

Ref: ABC/Job no./15/CCM-1
MINUTES OF CLIENT CONSULTANT MEETING NO.1



RE: PROPOSED SITE AT NO.1, JALAN TAYLORS, 47500 SUBANG JAYA, SELANGOR
D.E. FOR TAYLORS EDUCATION GROUP.

Venue: E5
Time of Meeting: Commencing at 10:45am

Date of Meeting: 5 October 2016
Closing at 11:25am

ATTENDANCE RECORD AND CONTACT DETAILS – PERSONS PRESENT.

NO	NAME	COMPANY/ POSITION	TELEPHONE	EMAIL	SIGNATURE
1	Ar. Sateerah Hassan	Client	019-3333333	sateerahassanarch@gmail.com	
2	Mr. Sean Wee Yen Xhiong	Project Manager	014-6828608	seanwee94@gmail.com	
3	Ar. Daniel Zain Mazalan	Principal Architect	011-12247583	danielmazalan@gmail.com	
4	LAr. Esther Lim Qiu Qiu	Landscape Architect	016-9131717	estherlqq@hotmail.com	
5	Mr. Ho Tze Hooi	Contractor	012-4555720	colbyho994@gmail.com	
6	Sr. Pua Kai Jing	Quantity Surveyor	012-7741790	pkj2001@gmail.com	
7	Ir. Tang Kar Jun	Civil & Structural Engineer	012-3315618	lawlietjun@hotmail.com	
8	Ir. Felicia Tiong Ying Min	Mechanical & Electrical Engineer	016-8586789	feliciationg95@gmail.com	

11.0 APPENDIX - ATTENDANCE

Ref: ABC/Job no./15/CCM-1

MINUTES OF CLIENT CONSULTANT MEETING NO.1



RE: PROPOSED SITE AT NO.1, JALAN TAYLORS, 47500 SUBANG JAYA, SELANGOR
D.E. FOR TAYLORS EDUCATION GROUP.

Venue: E5

Time of Meeting: Commencing at 9:30am

Date of Meeting: 12 October 2016

Closing at 10:15am

ATTENDANCE RECORD AND CONTACT DETAILS – PERSONS PRESENT.

NO	NAME	COMPANY/ POSITION	TELEPHONE	EMAIL	SIGNATURE
1	Ar. Sateerah Hassan	Client	019-3333333	sateerahassanarch@gmail.com	
2	Mr. Sean Wee Yen Khiong	Project Manager	014-6828608	seanwec94@gmail.com	
3	Ar. Daniel Zain Mazalan	Principal Architect	011-12247583	danielmazalan@gmail.com	
4	LAr. Esther Lim Qiu Qiu	Landscape Architect	016-9131717	estherlqq@hotmail.com	
5	Mr. Ho Tze Hooi	Contractor	012-4555720	colbyho994@gmail.com	
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8	Ir. Felicia Tiong Ying Min	Mechanical & Electrical Engineer	016-8586789	feliciationg95@gmail.com	

11.0 APPENDIX - MEETING MINUTES

DZ+ INC.

(134679852-W)

Block D-03-11, Jalan Taylor's, 47500 Subang Jaya, Selangor. Tel: 5629 5000 Fax: 03 5629 5001 DZplus@gmail.com www.DZplus.com

ARCHITECTURE, BUILDING, MASTER PLANNING, DESIGN

MULTI DISCIPLINARY PRACTICE (IJM, LAM)
AR. DANIEL ZAIN MAZALAN (ARCHITECT) REG. NO. A1.007
IR. TANG KAR JUN (CIVIL) REG. NO. 06583



DATE	5 September 2016
TIME	
VENUE	Studio Level 5

MEETING MINUTES NO.1

NO.	PRESENT			
1.	Taylor's Education Group	Ar. Sateerah Hassan	SH	Client
2.	DZ+ Inc.	Ar. Daniel Zain Mazalan	DZ	Architect
3.	QQ Landscape	LAr. Esther Lim Qiu Qiu	EL	Landscape Architect
4.	DZ+ Inc.	Mr. Ho Tze Hooi	HTH	Contractor
5.	AP Surveyors Consultancy	Sr. Pua Kai Jing	PKJ	Quantity Surveyor
6.	JunE	Ir. Tang Kar Jun	TKJ	C&S Engineer
7.	DZ+ Inc.	Mr. Sean Wee Yen Xhiong	SW	Project Manager
8.	FeaT	Ir. Felicia Tiong Ying Min	FT	M&E Engineer

Project:
PROPOSAL TO CONSTRUCT A COVERED CARPARK ZONE AT TAYLOR'S UNIVERSITY, JALAN TAYLOR'S, 47500 SUBANG JAYA, SELANGOR
Estimated Construction Cost: TBD

ITEM	DESCRIPTION	ACTION	REMARKS
1.0	INTRODUCTION		
1.1	Introduction to project team.	DZ	
1.2	Introduction to company's background, mission, vision.	DZ	
1.3	Introduction to company's logo and the formation of the team.	DZ	
1.4	Introduction to client	SH	
2.0	CLIENT'S REQUEST		
2.1	<u>Requirements</u> a) To build a covered carpark zone. Brief given by client from previous contact. b) Fast construction, economical, as a statement for covered carpark zone.	DZ DZ, HTH, EL	
3.0	FEASIBILITY STUDIES:		
3.1	<u>Problems or Issues to overcome:</u> a) Ensure that project is completed before new semester commences. b) Busy traffic conditions and other activities happening during semester. c) Consider the surroundings, traffic, and environmental impact that may affect the project in short and long terms. d) Ancillaries needed to ensure operation without much hassle.	DZ	
3.2	<u>Funding</u>	PKJ, DZ	
3.3	<u>References</u> e) Carpark intervention projects f) Healthy landscape incorporation g) Structural feasibility	DZ	

DZ+ INC.

(134679852-W)

Block D-03-11, Jalan Taylor's, 47500 Subang Jaya, Selangor. Tel: 5629 5000 Fax: 03 5629 5001 DZplus@gmail.com www.DZplus.com

ARCHITECTURE, BUILDING, MASTER PLANNING, DESIGN

MULTI DISCIPLINARY PRACTICE (IJM, LAM)
AR. DANIEL ZAIN MAZALAN (ARCHITECT) REG. NO. A1.007
IR. TANG KAR JUN (CIVIL) REG. NO. 06583

4.0	ARCHITECT		
4.1	a) Justifying the connection between users and landscape design.	EL	
5.0	NEXT MEETING		
5.1	Client Consultant Meeting No. 2 will be held on Wednesday, 14/09/16 at 9.00am at Studio Level 5.	SW	
Minutes were recorded by DZ			

PLEASE NOTE THE ACTION COLUMN AND UNDERTAKE TO COMPLETE YOUR RESPECTIVE TASKS AS AGREED.

Prepared by

Acknowledged by

11.0 APPENDIX - MEETING MINUTES

DZ+ INC.

(134679852-W)

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ARCHITECTURE, BUILDING, MASTER PLANNING, DESIGN

MULTI DISCIPLINARY PRACTICE (IJM, LAM)
AR. DANIEL ZAIN MAZALAN (ARCHITECT) REG.NO AL/007
IR. TANG KAR JUN (CIVIL) REG.NO 06583



DATE	14 September 2016
TIME	
VENUE	Studio Level 5

MEETING MINUTES NO.2

NO.	PRESENT			
1.	Taylor's Education Group	Ar. Sateerah Hassan	SH	Client
2.	DZ+ Inc.	Ar. Daniel Zain Mazalan	DZ	Architect
3.	QQ Landscape	LAr. Esther Lim Qiu Qiu	EL	Landscape Architect
4.	DM+ Inc.	Mr. Ho Tze Hooi	HTH	Contractor
5.	AP Surveyors Consultancy	Sr. Pua Kai Jing	PKJ	Quantity Surveyor
6.	JunE.	Ir. Tang Kar Jun	TKJ	C&S Engineer
7.	DZ+ Inc.	Mr. Sean Wee Yen Xhiong	SW	Project Manager
8.	FeaT	Ir. Felicia Tiong Ying Min	FT	M&E Engineer

Project: PROPOSAL TO CONSTRUCT A COVERED CARPARK ZONE AT TAYLOR'S UNIVERSITY, JALAN TAYLOR'S, 47500 SUBANG JAYA, SELANGOR			
Estimated Construction Cost:			
ITEM	DESCRIPTION	ACTION	REMARKS
1.0	INTRODUCTION		
1.1	Introduction to project team. a) Amendments on Organization Chart as previous structure were unrealistic.	DZ	
2.0	PREVIOUS MEETING MINUTES		
2.1	a) Minutes record & adjustments were done from previous meeting minute	HTH	
3.0	FEASIBILITY STUDIES:		
3.1	<u>Problems or Issues to overcome:</u> a) Ensure that project is completed before new semester commences. b) Busy traffic conditions and other activities happening during semester. c) Consider the surroundings, traffic, and environmental impact that may affect the project in short and long terms. d) Ancillaries needed to ensure operation without much hassle.	DZ	
3.2	<u>Funding</u> TBD	PKJ, DZ	
3.3	<u>References</u> e) Carpark intervention projects f) Healthy landscape incorporation g) Structural feasibility	DZ, EL	
4.0	ARCHITECT		
4.1	a) Justifying the connection between users and landscape design.	DZ	

DZ+ INC.

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ARCHITECTURE, BUILDING, MASTER PLANNING, DESIGN

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4.2	b) Inclusion of pathway beside of the lake to provide linkage to pontoon	DZ, EL	
4.3	c) Addition of a carpark management office		
4.4	d) Incorporation of overall design to landscape and renewable energy		
5.0	LANDSCAPE ARCHITECT MATTERS		
5.1	a) Proposal of Flora in site	EL	
5.2	b) Landscape design for pedestrian pathway	EL, DZ	
6.0	M & E Matters		
6.1	a) Type of Light bulb used	FT	
6.2	b) Type of Solar Panel used	FT, PKJ	
6.3	c) Total Cost		
7.0	C & S Matters		
7.1	a) Type of structure used	TKJ	
7.2	b) Type of roof structure used	TKJ	
7.3	c) Construction method of roof	TKJ	
7.4	d) Construction method of solar panels on roof	TKJ, FT	
7.5	e) Total cost of structure	FT, PKJ	
8.0	CONTRACTOR MATTERS		
8.1	a) Epoxy Cost	HTH	
8.2	b) Estimate Procurement of Materials	HTH, FT, TKJ	
8.3	c) Procurements of Machineries and Construction Equipment		
8.4	d) Procurement of Specialty Workers, M&E and C&S Inspection		
8.5	e) Procurement of Job Permit	HTH, SW	
8.6	f) Procurement of city approval plans and permit certification		
8.7	g) Creation of Critical Path Method (CPM)	HTH, DM	
8.8	h) Sign Agreements & Contracts		
8.9	i) General Contractor and Architect Payment Contract	HTH, SH	
8.10	j) Agreement form between owner and builder for construction of building on turnkey basis	HTH, SW	
8.11	k) Inform Syopz Mall management about construction	HTH, PKJ	
8.12	l) Prepare Material Bill, Payroll & Invoices	HTH, SW	
8.13	m) Construction preparation & commencing time		
9.0	QUANTITY SURVEYOR MATTERS		
9.1	a) Overall Cost Estimate	PKJ	
10.0	SITE MATTERS		
10.1	a) Site Survey	HTH	
10.2	b) Hoarding	HTH, SW	
10.3	c) Traffic Management		
10.4	d) Temporary utilities (Portable Toilets, meeting room, power, etc)		
10.5	e) Logistics (Material and Machineries Storage)		
10.6	f) Waste Management		
11.0	PROJECT MANAGER MATTERS		
11.1	a) Construction Schedule	SW	
11.2	b) Proposal for Site Managing	SW, HTH	

11.0 APPENDIX - MEETING MINUTES

DZ+ INC.

(134679852-W)

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ARCHITECTURE, BUILDING, MASTER PLANNING, DESIGN

MULTI DISCIPLINARY PRACTICE (I/M, LAM)
AR. DANIEL ZAIN MAZALAN (ARCHITECT) REG.NO AL/007
IR. TANG KAR JUN (CIVIL) REG.NO 06583

NEXT MEETING Client Consultant Meeting No. 3 will be held on Wednesday, 21 September 2016 at 8.30am at Studio Level 5.	SW	
Minutes were recorded by PKJ		

PLEASE NOTE THE ACTION COLUMN AND UNDERTAKE TO COMPLETE YOUR RESPECTIVE TASKS AS AGREED.

Prepared by

Acknowledged by

DZ+ INC.

(134679852-W)

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ARCHITECTURE, BUILDING, MASTER PLANNING, DESIGN

MULTI DISCIPLINARY PRACTICE (I/M, LAM)
AR. DANIEL ZAIN MAZALAN (ARCHITECT) REG.NO AL/007
IR. TANG KAR JUN (CIVIL) REG.NO 06583



DATE	21 September 2016
TIME	8:30am
VENUE	Studio Level 5

MEETING MINUTES NO.3

NO. PRESENT				
1.	Taylor's Education Group	Ar. Sateerah Hassan	SH	Client
2.	DZ+ Inc.	Ar. Daniel Zain Mazalan	DZ	Architect
3.	QQ Landscape	LAr. Esther Lim Qiu Qiu	EL	Landscape Architect
4.	DZ+ Inc.	Mr. Ho Tze Hooi	HTH	Contractor
5.	JunE.	Ir. Tang Kar Jun	TKJ	C&S Engineer
6.	DZ+ Inc.	Mr. Sean Wee Yen Xiong	SW	Project Manager
7.	FeaT	Ir. Felicia Tiong Ying Min	FT	M&E Engineer

NO. ABSENT				
8.	AP Surveyors Consultancy	Sr. Pua Kai Jing	PKJ	Quantity Surveyor

Project:

PROPOSAL TO CONSTRUCT A COVERED CARPARK ZONE AT TAYLOR'S UNIVERSITY, JALAN TAYLOR'S, 47500 SUBANG JAYA, SELANGOR
Estimated Construction Cost: RM 1,529,548.00

ITEM	DESCRIPTION	ACTION	REMARKS
1.0	INTRODUCTION		
1.1	a) Introduction to project team.	HTH	INFO
2.0	PREVIOUS MEETING MINUTES		
2.1	a) Minutes recorded from meeting no. 2 was confirmed correct.	HTH	INFO
3.0	FEASIBILITY STUDIES:		
3.1	a) Carpark exit moved from right to left side. - Better traffic circulation flow.	DZ	INFO
3.2	b) Landscape moved from bottom left to the bottom right of the plan. - To accommodate the exit point on the bottom left of the carpark.	DZ	INFO
3.3	c) Walkway added. - To allow pedestrian circulation. - To allow view to pontoon and lake.	DZ	INFO
4.0	ARCHITECT MATTERS		
4.1	a) Carpark boundary amended. - Carpark boundary redefined from 40m x 85m to 40m x 70m.	DZ	INFO
4.2	b) Carpark spaces reduced. - Number of carpark spaces reduced from 91 to 77.	DZ	INFO
4.3	c) Carpark management office placed at the exit. - Space taken: 8m x 8m. - Placed at the exit in consideration of traffic flow.	DZ	INFO

11.0 APPENDIX - MEETING MINUTES

DZ+ INC.

(134679852-W)

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ARCHITECTURE, BUILDING, MASTER PLANNING, DESIGN

MULTI DISCIPLINARY PRACTICE (IJM, LAM)
AR. DANIEL ZAIN MAZALAN (ARCHITECT) REG.NO AL/007
IR. TANG KAR JUN (CIVIL) REG.NO 06583

5.0	LANDSCAPE ARCHITECT MATTERS		
5.1	a) Proposal of Flora in site <ul style="list-style-type: none"> Bucida shrubs along with common non-flowering shrubs to lower future maintenance costs. Frangipani trees as shade near the exit of the carpark where the space is a resting area with benches. 	EL	INFO
5.2	b) Landscape design <ul style="list-style-type: none"> Pedestrian pathway extended to the ends of the parking to allow pedestrians to walk safely from the commercial block to their parking space vice versa. Gazebo added to the landscape design on top of a deck for people to gather or rest and look out to the pontoon and lake. White gravel on the floor to cover the soil after consideration of the soil condition after the rain. Deck and benches to be added to intersections of pedestrian pathways for people to enjoy and rest. 	EL	INFO
5.3	c) Cost <ul style="list-style-type: none"> Rough cost estimation 	EL	INFO
6.0	M & E MATTERS		
6.1	a) Type of Light bulb used <ul style="list-style-type: none"> LED and fluorescent light as they are cost and energy efficient. 	FT	INFO
6.2	b) Type of Solar Panel used <ul style="list-style-type: none"> Grid-connected PV system so that excess generated electricity can be sold back to TNB. 	FT	INFO
6.3	c) Drainage <ul style="list-style-type: none"> Material used is UPVC because it is cheap, lightweight and resistant to corrosion. Drainage proposed to be added under the exterior wall facing the road as vine plants will be grown on the wall. 	FT	INFO
6.4	d) Cost <ul style="list-style-type: none"> Rough cost estimation 	FT	INFO
7.0	C & S MATTERS		
7.1	a) Material of portal frame on exterior wall facing the main road <ul style="list-style-type: none"> Changed to stainless steel due to considerations of maintenance and rust because of the weather conditions and vine plant on the wall. 	TKJ	INFO
7.2	b) Fire protection materials proposed. <ul style="list-style-type: none"> Steel column to be coated with gypsum plaster, mineral fibres or magnesium oxychloride cement so that the structure can still maintain its form for a certain period of time in case of fire. 	TKJ	INFO
7.3	c) Type of structure <ul style="list-style-type: none"> IBS system as it has lower amount of waste produced. 	TKJ	INFO
7.4	d) Construction method of solar panels on roof <ul style="list-style-type: none"> Construction method finalized 	TKJ, FT	INFO
7.5	e) Cost <ul style="list-style-type: none"> Rough cost estimation 	TKJ	INFO
8.0	CONTRACTOR MATTERS		
8.1	a) Procurement of materials	HTH, FT, TKJ	25/09/16

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ARCHITECTURE, BUILDING, MASTER PLANNING, DESIGN

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8.2	- Solar panels and IBS materials to be passed to the contractor to procure by 25/09/16.	HTH	INFO
8.3	b) Procurement of specialty workers <ul style="list-style-type: none"> FT and TKJ to brief workers. c) Construction preparations <ul style="list-style-type: none"> Done and can start on work after design has been finalized. 	HTH	INFO
9.0	PROJECT MANAGER MATTERS		
9.1	a) Construction Schedule <ul style="list-style-type: none"> Gantt chart shown to SH as construction schedule. 	SW	INFO
9.2	b) Proposal for Site Managing <ul style="list-style-type: none"> To give a safety brief to workers on site on a weekly basis. 	SW, HTH	INFO
10.0	SITE MATTERS		
10.1	a) Temporary utilities and meeting room <ul style="list-style-type: none"> Temporary utilities are ready on site. Meeting room will only be ready after foundation is completed. 	HTH	INFO
10.2	b) Traffic Management <ul style="list-style-type: none"> HTH's workers to direct traffic with SW's guidance. 	HTH, SW	INFO
10.3	c) Logistics (Material and Machineries storage) <ul style="list-style-type: none"> Designated area for temporary storage at one side of the existing parking. 	HTH	INFO
10.4	d) Waste management <ul style="list-style-type: none"> Leash bins to be rented for waste management. 	HTH, SW	INFO
	NEXT MEETING Client Consultant Meeting No. 3 will be held on Monday (26/09/16) at 9.00am at Studio Level 5.	SW	INFO
Minutes were recorded by EL			

PLEASE NOTE THE ACTION COLUMN AND UNDERTAKE TO COMPLETE YOUR RESPECTIVE TASKS AS AGREED.

Prepared by

Acknowledged by

11.0 APPENDIX - MEETING MINUTES

DZ+ INC.

(134679852-W)

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ARCHITECTURE, BUILDING, MASTER PLANNING, DESIGN

MULTI DISCIPLINARY PRACTICE (IJM, LAM)
AR. DANIEL ZAIN MAZALAN (ARCHITECT) REG.NO AL 007
IR. TANG KAR JUN (CIVIL) REG.NO 06583



DATE	26 September 2016
TIME	11:15 am
VENUE	Studio Level 5

MEETING MINUTES NO.4

NO.	PRESENT			
1.	Taylor's Education Group	Ar. Sateerah Hassan	SH	Client
2.	DZ+ Inc.	Ar. Daniel Zain Mazalan	DZ	Architect
3.	QQ Landscape	LAr. Esther Lim Qiu Qiu	EL	Landscape Architect
4.	DZ+ Inc.	Mr. Ho Tze Hooi	HTH	Contractor
5.	AP Surveyors Consultancy	Sr. Pua Kai Jing	PKJ	Quantity Surveyor
6.	JunE.	Ir. Tang Kar Jun	TKJ	C&S Engineer
7.	DZ+ Inc.	Mr. Sean Wee Yen Xhiong	SW	Project Manager
8.	FeaT	Ir. Felicia Tiong Ying Min	FT	M&E Engineer

Project: PROPOSAL TO CONSTRUCT A COVERED CARPARK ZONE AT TAYLOR'S UNIVERSITY, JALAN TAYLOR'S, 47500 SUBANG JAYA, SELANGOR Estimated Construction Cost: RM 1,529,548.00			
ITEM	DESCRIPTION	ACTION	REMARKS
1.0	INTRODUCTION		
1.1	a) Greeted the client and consultants.	EL	INFO
2.0	PREVIOUS MEETING MINUTES		
2.1	a) Minutes recorded from meeting no. 3 were confirmed.	EL	INFO
3.0	CLIENT MATTERS		
3.1	a) Approval of design proposal - Management agreed on project and design project. - Management agreed to the allowance of allocation based on the given budget.	SH	INFO
4.0	ARCHITECT MATTERS		
4.1	a) Proposal of structural system - Foundation to connect to portal frame. - Details of structure have been discussed with C&S engineer. - Drawings e-mailed to C&S engineer and to be modified accordingly.	DZ & TKJ	INFO
4.2	b) Submission of drawings - Drawings to be submitted to local authority for approval.	DZ	INFO
5.0	LANDSCAPE ARCHITECT MATTERS		
5.1	a) Landscape plans - Landscape plans to be submitted by Friday 30 th September. - Necessary collaboration with consultants if interfacing work is required.	EL	30/09/2016

DZ+ INC.

(134679852-W)

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ARCHITECTURE, BUILDING, MASTER PLANNING, DESIGN

MULTI DISCIPLINARY PRACTICE (IJM, LAM)
AR. DANIEL ZAIN MAZALAN (ARCHITECT) REG.NO AL 007
IR. TANG KAR JUN (CIVIL) REG.NO 06583

5.2	b) Landscape maintenance - Proposal of landscape maintenance to be compiled under manual operation and given to management / maintenance team.	EL	INFO
6.0	C & S MATTERS		
6.1	a) Submission of drawings - Structural drawings to be completed and submitted to local authority by Friday 30 th September.	TKJ	30/09/2016
7.0	CONTRACTOR MATTERS		
7.1	a) Temporary parking - Received approval from management of DK Senza and D'Latour to provide a temporary parking space to Taylor's students. - Management has agreed to a fee of RM10,000 per month. - Client suggested a minimal charge for students to use the parking, which will be discussed with the operator.	HTH, SH	INFO
8.0	QUANTITY SURVEYOR MATTERS		
8.1	a) Overall project cost - Temporary car park cost to be included in the overall cost - Estimated cost is RM1.5 mil including contingencies cost.	PKJ	INFO
9.0	PROJECT MANAGER MATTERS		
9.1	a) Project timeline - Estimated completion of project by end of January 2017. - Drawings to be submitted to local authorities for approval by the end of October in order to prepare tender documents. - Construction estimated to start by the 1 st week of November. - Construction planning details to be elaborated to suit activities involved.	SW	INFO
10.0	SITE MATTERS		
10.1	a) Clearing of site and checking of soil condition.	HTH, TKJ	INFO
	NEXT MEETING Client Consultant Meeting No. 5 will be held on Wednesday (5/10/16) at 9.00am at Studio Level 5.	SW	INFO
Minutes were recorded by FT			

Prepared by

Acknowledged by

11.0 APPENDIX - MEETING MINUTES

DZ+ INC.

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ARCHITECTURE, BUILDING, MASTER PLANNING, DESIGN

MULTI DISCIPLINARY PRACTICE (IJM, LAM)
AR. DANIEL ZAIN MAZALAN (ARCHITECT) REG. NO AL 007
IR. TANG KAR JUN (CIVIL) REG. NO 06583



DATE	06 October 2016
TIME	10:45 am
VENUE	Studio Level 5

MEETING MINUTES NO.5

NO.	PRESENT			
1.	Taylor's Education Group	Ar. Sateerah Hassan	SH	Client
2.	DZ+ Inc.	Ar. Daniel Zain Mazalan	DZ	Architect
3.	DZ+ Inc.	Mr. Ho Tze Hooi	HTH	Contractor
4.	AP Surveyors Consultancy	Sr. Pua Kai Jing	PKJ	Quantity Surveyor
5.	JunE.	Ir. Tang Kar Jun	TKJ	C&S Engineer
6.	DZ+ Inc.	Mr. Sean Wee Yen Xhiong	SW	Project Manager
7.	FeaT	Ir. Felicia Tiong Ying Min	FT	M&E Engineer

NO.	ABSENT			
8.	QQ Landscape	LAr. Esther Lim Qiu Qiu	EL	Landscape Architect

Project:
PROPOSAL TO CONSTRUCT A COVERED CARPARK ZONE AT TAYLOR'S UNIVERSITY, JALAN TAYLOR'S, 47500 SUBANG JAYA, SELANGOR
Estimated Construction Cost: RM 1,529,548.00

ITEM	DESCRIPTION	ACTION	REMARKS
1.0	INTRODUCTION		
1.1	a) Greeted the client and consultants.	PKJ	INFO
2.0	PREVIOUS MEETING MINUTES		
2.1	a) Minutes recorded from meeting no. 4 were confirmed.	PKJ	INFO
3.0	CLIENT MATTERS		
3.1	a) Progress check based on the Gantt Chart.	SH	INFO
4.0	ARCHITECT MATTERS		
4.1	a) Submission of drawings. - Drawings submitted to the authority, currently waiting for approval.	DZ	INFO
5.0	LANDSCAPE ARCHITECT MATTERS		
5.1	a) Submission of drawings - Drawings submitted to the authority, currently waiting for approval.	SW	INFO
6.0	C & S MATTERS		
6.1	a) Submission of drawings - Drawings submitted to the authority, currently waiting for approval.	TKJ	INFO

DZ+ INC.

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ARCHITECTURE, BUILDING, MASTER PLANNING, DESIGN

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AR. DANIEL ZAIN MAZALAN (ARCHITECT) REG. NO AL 007
IR. TANG KAR JUN (CIVIL) REG. NO 06583

7.0	CONTRACTOR MATTERS		
7.1	a) Temporary parking - Minimum charge of RM3 per entry for students to use the parking was agreed among the contractor, project manager and the quantity surveyor. - Minimum estimation of RM6000 per month would be gained based on the minimum charge given. - Contract was sign between the management and the contractor to begin operation for the rental car park b) Submitted drawings to be checked and commented by the contractor.	HTH, SH, PKJ HTH	INFO INFO
8.0	QUANTITY SURVEYOR MATTERS		
8.1	a) Overall project cost - Overall cost to be calculated and printed in the next meeting.	PKJ	INFO
9.0	PROJECT MANAGER MATTERS		
9.1	a) To update WBS and Gantt Chart - WBS and Gantt Chart to be updated and submitted to the clients and consultants for progress check.	SW	INFO
10.0	NEXT MEETING Client Consultant Meeting No. 7 will be held on Wednesday (12/10/16) at 9:30am at Studio Level 5.	SW	INFO
Minutes were recorded by PKJ			

Prepared by

Acknowledged by

11.0 APPENDIX - MEETING MINUTES

DZ+ INC.

(134679852-W)

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ARCHITECTURE, BUILDING, MASTER PLANNING, DESIGN

MULTI DISCIPLINARY PRACTICE (I/M, LAM)
AR. DANIEL ZAIN MAZALAN (ARCHITECT) REG. NO. A1.007
IR. TANG KAR JUN (CIVIL) REG. NO. 06583



DATE	12 October 2016
TIME	9:30am
VENUE	Studio Level 5

MEETING MINUTES NO.6

NO.	PRESENT			
1.	Taylor's Education Group	Ar. Sateerah Hassan	SH	Client
2.	DZ+ Inc.	Ar. Daniel Zain Mazalan	DZ	Architect
3.	QQ Landscape	LAr. Esther Lim Qiu Qiu	EL	Landscape Architect
4.	DZ+ Inc.	Mr. Sean Wee Yen Xhiong	SW	Project Manager
5.	FeaT	Ir. Felicia Tiong Ying Min	FT	M&E Engineer

NO.	ABSENT			
1.	DZ+ Inc.	Mr. Ho Tze Hooi	HTH	Contractor
2.	AP Surveyors Consultancy	Sr. Pua Kai Jing	PKJ	Quantity Surveyor
3.	JunE.	Ir. Tang Kar Jun	TKJ	C&S Engineer

Project:
PROPOSAL TO CONSTRUCT A COVERED CARPARK ZONE AT TAYLOR'S UNIVERSITY, JALAN TAYLOR'S, 47500 SUBANG JAYA, SELANGOR
Estimated Construction Cost: RM 1,529,548.00

ITEM	DESCRIPTION	ACTION	REMARKS
1.0	INTRODUCTION		
1.1	a) Introduction to project team.	SW	INFO
2.0	PREVIOUS MEETING MINUTES		
2.1	a) Minutes recorded from meeting no. 6 was confirmed correct.	SW	INFO
3.0	ARCHITECT MATTERS		
3.1	a) Drawings - Pending approval from authority. Preparing for tender.	DZ	INFO
4.0	LANDSCAPE ARCHITECT MATTERS		
4.1	a) Drawings. - Pending approval from authority, in process of preparing tender.	EL	INFO
5.0	M & E MATTERS		
5.1	b) Drawings. - Pending approval from authority, in process of preparing tender.	FT	INFO
6.0	C & S MATTERS		
6.1	c) Drawings. - Pending approval from authority, in process of preparing tender.	SW	INFO

DZ+ INC.

(134679852-W)

Block D-03-11, Jalan Taylor's, 47500 Subang Jaya, Selangor. Tel: 5629 5000 Fax: 03 5629 5001 DZplus@gmail.com www.DZplus.com

ARCHITECTURE, BUILDING, MASTER PLANNING, DESIGN

MULTI DISCIPLINARY PRACTICE (I/M, LAM)
AR. DANIEL ZAIN MAZALAN (ARCHITECT) REG. NO. A1.007
IR. TANG KAR JUN (CIVIL) REG. NO. 06583

7.0	PROJECT MANAGER MATTERS		
7.1	a) Gantt Chart - Updated Gantt chart. b) PERT Chart - To change the format of the PERT chart.	SW SW	INFO INFO
10.0	NEXT MEETING Client Consultant Meeting No. 8 will be held on Wednesday (19/10/2016) at.	SW	19/10/2016
Minutes recorded by EL			

Prepared by

Acknowledged by



AGENDA OF CLIENT - CONSULTANTS MEETING

Client - Consultants Meeting No. 2

Date:

Place:

Meeting Roles

Client: Ar. Sateerah Hassan

Chairperson: Ar. Daniel Zain Mazalan

Minute/Note Taker: Mr. Ho Tze Hooi

Time Keeper: Mr. Sean Wee Yen Xhiong

Absent Members:

Meeting Objectives

- 1.
- 2.
- 3.
- 4.

Agenda

TIME	ITEM	TYPE OF ACTION	DECISION REQUIRED
0900	Welcome / Introductions Confirmation of previous MoMs	Info sharing	No
0905	Action plan updates by consultants	Discussion	Yes
0935	Arising matters	Discussion	Yes
0937	Complete meeting evaluation	Discussion	Yes
0940	Fix next meeting's dates and place and adjourn	Info sharing	No



AGENDA OF CLIENT - CONSULTANTS MEETING

Client - Consultants Meeting No. 3

Date: 21 September 2016

Place: E5

Meeting Roles

Client: Ar. Sateerah Hassan

Chairperson: Mr. Ho Tze Hooi

Minute/Note Taker: LAr. Esther Lim Qiu Qiu

Time Keeper: Mr. Sean Wee Yen Xhiong

Absent Members:

Agenda

NO.	TIME	ITEM	Person(s) Responsible
1	0830	Introduction	Mr. Sean Wee Yen Xhiong
2	0832	Previous meeting minutes	Mr. Ho Tze Hooi
3	0835	Feasibility studies	Ar. Daniel Zain Mazalan, Sr. Pua Kai Jing, LAr. Esther Lim Qiu Qiu
4	0840	Architect matters	Ar. Daniel Zain Mazalan, LAr. Esther Lim Qiu Qiu
5	0842	Landscape architect matters	LAr. Esther Lim Qiu Qiu, Ar. Daniel Zain Mazalan
6	0845	M&E matters	Ir. Felicia Tiong Ying Min, Sr. Pua Kai Jing
7	0847	C&S matters	Ir. Tang Kar Jun, Ir. Felicia Tiong Ying Min, Sr. Pua Kai Jing
8	0852	Contractor matters	Mr. Ho Tze Hooi, Ir. Felicia Tiong Ying Min, Ir. Tang Kar Jun, Mr. Sean Wee Yen Xhiong, Ar. Daniel Zain Mazalan, Sr. Pua Kai Jing
9	0902	Quantity surveyor matters	Sr. Pua Kai Jing
10	0905	Site matters	Mr. Ho Tze Hooi, Mr. Sean Wee Yen Xhiong
11	0907	Project manager matters	Mr. Sean Wee Yen Xhiong, Mr. Ho Tze Hooi
12	0910	Feedback and comments from client	Ar. Sateerah Hassan
13	0912	Discussion of the project	ALL
14	0915	Next meeting	Mr. Sean Wee Yen Xhiong



AGENDA OF CLIENT - CONSULTANTS MEETING

PROPOSAL TO CONSTRUCT A COVERED CARPARK ZONE AT TAYLOR'S UNIVERSITY,
JALAN TAYLOR'S, 47500 SUBANG JAYA, SELANGOR

Client - Consultants Meeting No. 4

Date: 5 October 2016
Place: E5

Meeting Roles

Client: Ar. Sateerah Hassan

Chairperson: Ir. Felicia Tiong Ying Min

Minute/Note Taker: Sr. Pua Kai Jing

Time Keeper: Mr. Sean Wee Yen Xhiong

Absent Members:

Agenda

1. Introduction
2. Previous Meeting Minutes
3. Client Matters
4. Architect Matters
 - Submission of Drawings
5. Landscape Architect Matters
 - Submission of Drawings
6. C&S Matters
 - Submission of Drawings
7. M&E Matters
 - Submission of Drawings
8. Contractor Matters
9. Quantity Surveyor Matters
10. Project Manager Matters
11. Site Matters
12. Next Meeting



AGENDA OF CLIENT - CONSULTANTS MEETING

PROPOSAL TO CONSTRUCT A COVERED CARPARK ZONE AT TAYLOR'S UNIVERSITY,
JALAN TAYLOR'S, 47500 SUBANG JAYA, SELANGOR

Client - Consultants Meeting No. 5

Date: 5 October 2016
Place: E5

Meeting Roles

Client: Ar. Sateerah Hassan

Chairperson: Ir. Felicia Tiong Ying Min

Minute/Note Taker: Sr. Pua Kai Jing

Time Keeper: Mr. Sean Wee Yen Xhiong

Absent Members:

Agenda

1. Introduction
2. Previous Meeting Minutes
3. Client Matters
4. Architect Matters
 - Submission of Drawings
5. Landscape Architect Matters
 - Submission of Drawings
6. C&S Matters
 - Submission of Drawings
7. M&E Matters
 - Submission of Drawings
8. Contractor Matters
9. Quantity Surveyor Matters
10. Project Manager Matters
11. Site Matters
12. Next Meeting



AGENDA OF CLIENT - CONSULTANTS MEETING

**PROPOSAL TO CONSTRUCT A COVERED CARPARK ZONE AT TAYLOR'S UNIVERSITY,
JALAN TAYLOR'S, 47500 SUBANG JAYA, SELANGOR**

Client - Consultants Meeting No. 6

Date: 12 October 2016

Place: E5

Meeting Roles

Client: Ar. Sateerah Hassan

Chairperson: Sr. Pua Kai Jing

Minute/Note Taker: Mr. Sean Wee Yen Xiong

Time Keeper: Ir. Felicia Tiong Ying Min

Absent Members:

Agenda

1. Introduction
2. Previous Meeting Minutes
3. Client Matters
4. Architect Matters
5. Landscape Architect Matters
6. C&S Matters
7. M&E Matters
8. Contractor Matters
9. Quantity Surveyor Matters
10. Project Manager Matters
 - WBS
 - Gantt chart
11. Site Matters
12. Next Meeting